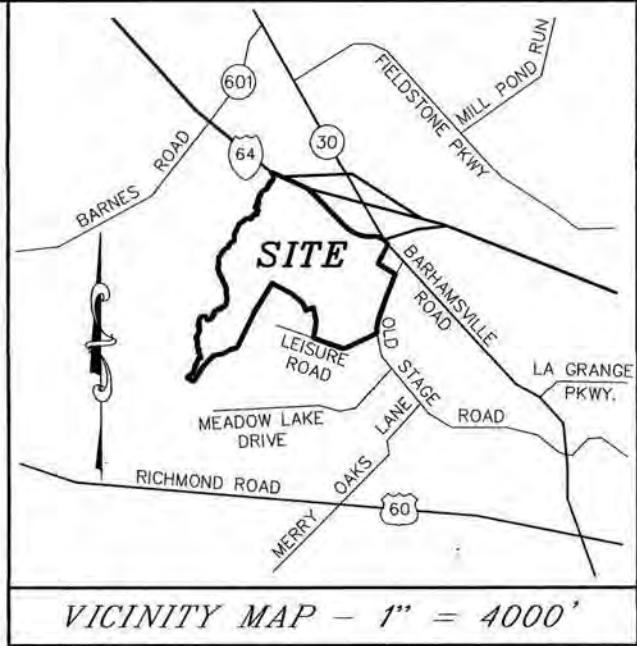


202516664



SOURCE OF TITLE

PARCEL ID: 0440100013
THE PROPERTY EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION WAS CONVEYED TO LI HAZELWOOD FARMS VA INVESTOR, LP BY DEED FROM BELTLINE BELTWAY INVESTMENTS, LTD DATED SEPTEMBER 19, 2023 AND RECORDED OCTOBER 11, 2023 IN INSTR. NO. 202310554 IN THE CLERK'S OFFICE, OF THE CIRCUIT COURT, OF JAMES CITY COUNTY, VIRGINIA.

PARCEL ID: 0440100014
THE PROPERTY EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION WAS CONVEYED TO LI HAZELWOOD FARMS VA INVESTOR, LP BY DEED FROM BELTLINE BELTWAY INVESTMENTS, LTD DATED SEPTEMBER 19, 2023 AND RECORDED OCTOBER 11, 2023 IN INSTR. NO. 202310554 IN THE CLERK'S OFFICE, OF THE CIRCUIT COURT, OF JAMES CITY COUNTY, VIRGINIA.

PARCEL ID: 0440100015
THE PROPERTY EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION WAS CONVEYED TO LI HAZELWOOD FARMS VA INVESTOR, LP BY DEED FROM BELTLINE BELTWAY INVESTMENTS, LTD DATED SEPTEMBER 19, 2023 AND RECORDED OCTOBER 11, 2023 IN INSTR. NO. 202310554 IN THE CLERK'S OFFICE, OF THE CIRCUIT COURT, OF JAMES CITY COUNTY, VIRGINIA.

Ky Bp 9-25-25
KENNETH R. BLAYLOCK, JR., L.S. DATE
LIC. NO. 2833

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.

Ky Bp 9-25-25
KENNETH R. BLAYLOCK, JR., L.S. DATE
LIC. NO. 2833

LOVETT 64
COMMERCE CENTER

POWHATAN DISTRICT * JAMES CITY COUNTY, VA

DATE: SEPTEMBER 25, 2025 SCALE: 1" = 200'

JENNINGS STEPHENSON P.C.

LAND SURVEYORS
& PLANNERS

10160 STAPLES MILL ROAD
SUITE 103
GLEN ALLEN, VA 23060
PHONE - 804-545-6235

J.N. 23-592

NOTES

- 1.) OWNER/DEVELOPER:
LI HAZELWOOD FARMS VA INVESTOR, LP
275 OLD STAGE ROAD
TOANO, VA 23168
PARCEL ID: 0440100013, 0440100014 AND 0440100015
ZONED: EO (ECONOMIC OPPORTUNITY)
- 2.) ALL NEW SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE II, DIVISION 3 OF THE JAMES CITY COUNTY ZONING ORDINANCE.
- 3.) AREA IN R/W DEDICATION: 6.500 ACRES
AREA IN PARCELS: 190.5± ACRES
TOTAL AREA: 197.0± ACRES
- 4.) ALL PARCELS SHALL BE SERVED BY PUBLIC SEWER AND PUBLIC WATER.
- 5.) THIS PROPERTY LIES IN ZONE 'X' OF THE FEMA DEFINED FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 51095C0037D, EFFECTIVE DATE DECEMBER 16, 2015.
- 6.) DURING THE PROCESS OF OUR PHYSICAL IMPROVEMENT SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THE PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
- 7.) MONUMENTS SHALL BE SET IN ACCORDANCE WITH SECTION 19-34 THROUGH 19-36 OF THE COUNTY CODE.
- 8.) UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS DESIGNATED ON THIS PLAT SHALL REMAIN PRIVATE.
- 9.) THESE PARCELS ARE SUBJECT TO PROFFERS ASSOCIATED WITH Z-19-0006 AND SPECIAL USE PERMIT CONDITIONS ASSOCIATED WITH SUP-19-0005.
- 10.) THE PLATTING OF THIS SUBDIVISION IS IN ACCORDANCE WITH THE APPROVED ZONING MAP AMENDMENT AND RELATED MASTER PLAN, TITLED Z-19-0006, AND THUS IS IN COMPLIANCE WITH SEC. 24-536.2 OF THE ZONING ORDINANCE
- 11.) ANY UNUSED WELL(S) SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
- 12.) EASEMENTS DENOTED AS JCSA UTILITY EASEMENTS ARE FOR THE EXCLUSIVE USE OF THE JAMES CITY SERVICE AUTHORITY AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
- 13.) NO BUILDING OR PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN A JCSA UTILITY EASEMENT. NO TRESS, SHRUBS, STRUCTURES, FENCES, IRRIGATION MAINS, INVISIBLE PET FENCES OR OTHER OBSTACLES SHALL BE PLACED WITHIN AN EASEMENT WHICH WOULD RENDER THE EASEMENT INACCESSIBLE BY EQUIPMENT. SHRUBS SHALL BE A MINIMUM OF 5 FEET AND TREES A MINIMUM OF 10 FEET FROM THE CENTER OF WATER AND SANITARY SEWER MAINS. JCSA WILL NOT BE RESPONSIBLE FOR REPLACEMENT OF TREES AND SHRUBS PLACED WITHIN THE EASEMENT.
- 14.) SEE SP-23-0013, SP-223-0087, SP-23-0100 AND SP-24-0092 FOR SITE DEVELOPMENT.
- 15.) ALL NEW UTILITIES SHALL BE PLACE UNDERGROUND.
- 16.) PARCEL 1 (0.363) HEREBY DEDICATED TO JAMES CITY SERVICE AUTHORITY
- 17.) WETLANDS AND LAND WITHIN RESOURCE PROTECTION AREAS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7 OF THE JAMES CITY COUNTY CODE.
- 18.) NATURAL OPEN SPACE EASEMENTS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES REFERENCED ON THE DEED OF EASEMENT
- 19.) THE PLANNING COMMISSION GRANTED AN EXCEPTION TO SECTION 19-54 OF THE SUBDIVISION ORDINANCE TO ALLOW CUL-DE-SAC STREETS IN EXCESS OF 1,000 FEET ON JULY 2, 2025.
- 20.) TEMPORARY TURNAROUND TO BE REMOVED AND THE AREA RESTORED WHEN THE STREET IS EXTENDED IN THE FUTURE.

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
Dec. 3, 2025
at 12:35 AM (PM) PG
Document # 202516664
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk



SHEET 1 OF 9

OWNER'S CERTIFICATE

THE SUBDIVISION OF LAND SHOWN ON THIS PLAT AND KNOWN AS

LOVETT 64
COMMERCE CENTER

IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND/OR TRUSTEES.

Ben Swift 10/31/25
LI HAZELWOOD FARMS VA INVESTOR, LP DATE
Ben Swift
PRINT NAME

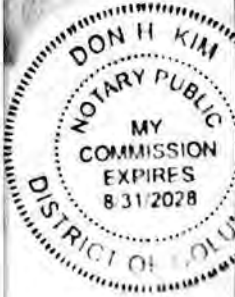
STATE/Commonwealth of District of Columbia
COUNTY/CITY OF Washington TO WIT:

I, Don H. Kim A NOTARY PUBLIC IN AND FOR THE
(PRINT NAME)
COUNTY/CITY AND STATE/Commonwealth AFORESAID, DO HEREBY CERTIFY THAT:
Ben Swift

WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAS ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY/COUNTY AFORESAID.

GIVEN UNDER MY HAND AND SEAL THIS 31st DAY OF October 2025.

Don H. Kim 08-31-2028
NOTARY PUBLIC MY COMMISSION EXPIRES
REGISTRATION NO. N/A



DON H. KIM
NOTARY PUBLIC DISTRICT OF COLUMBIA
My Commission Expires August 31, 2028

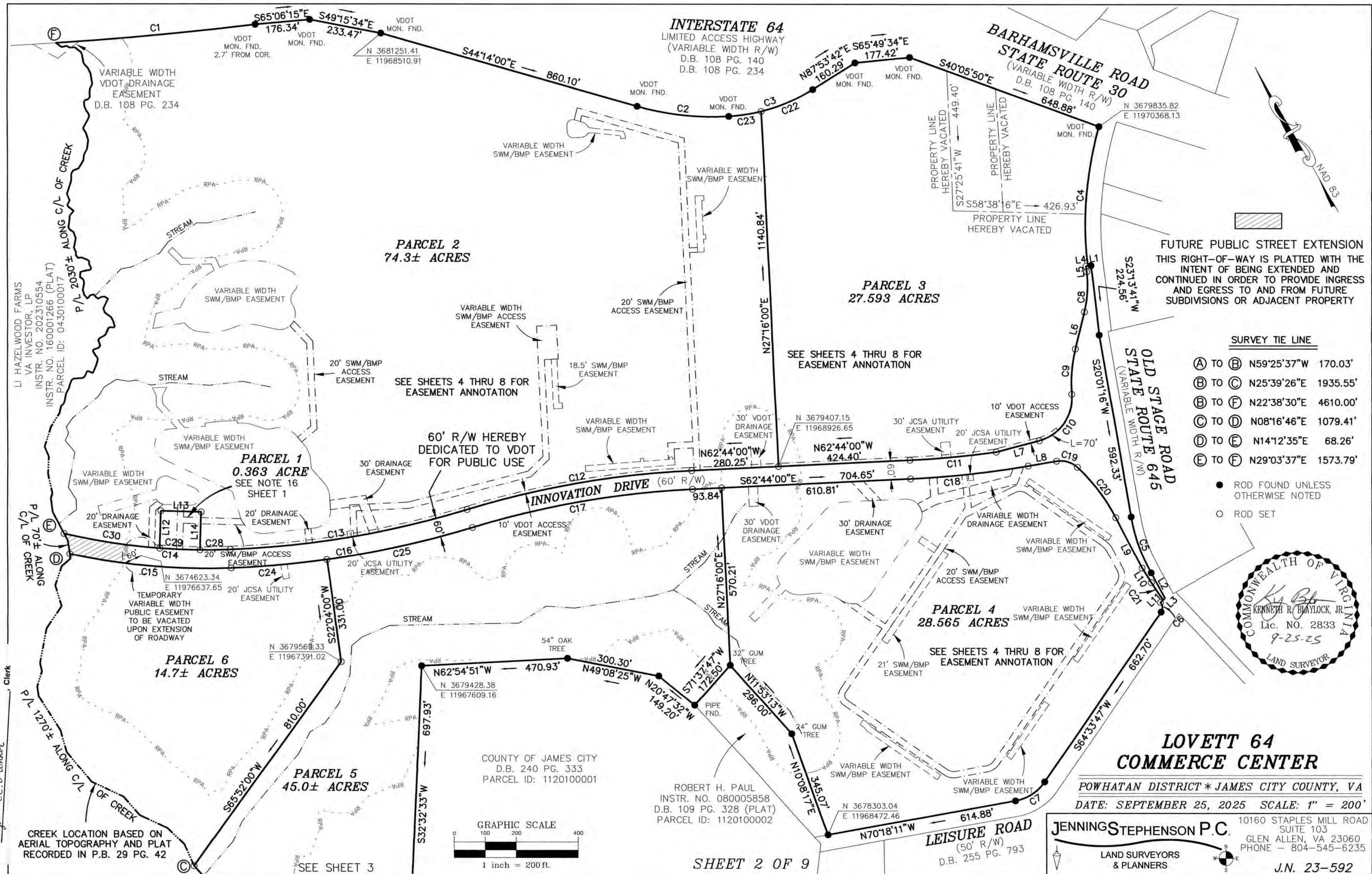
CERTIFICATE OF APPROVAL

THIS SUBDIVISION PLAT IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

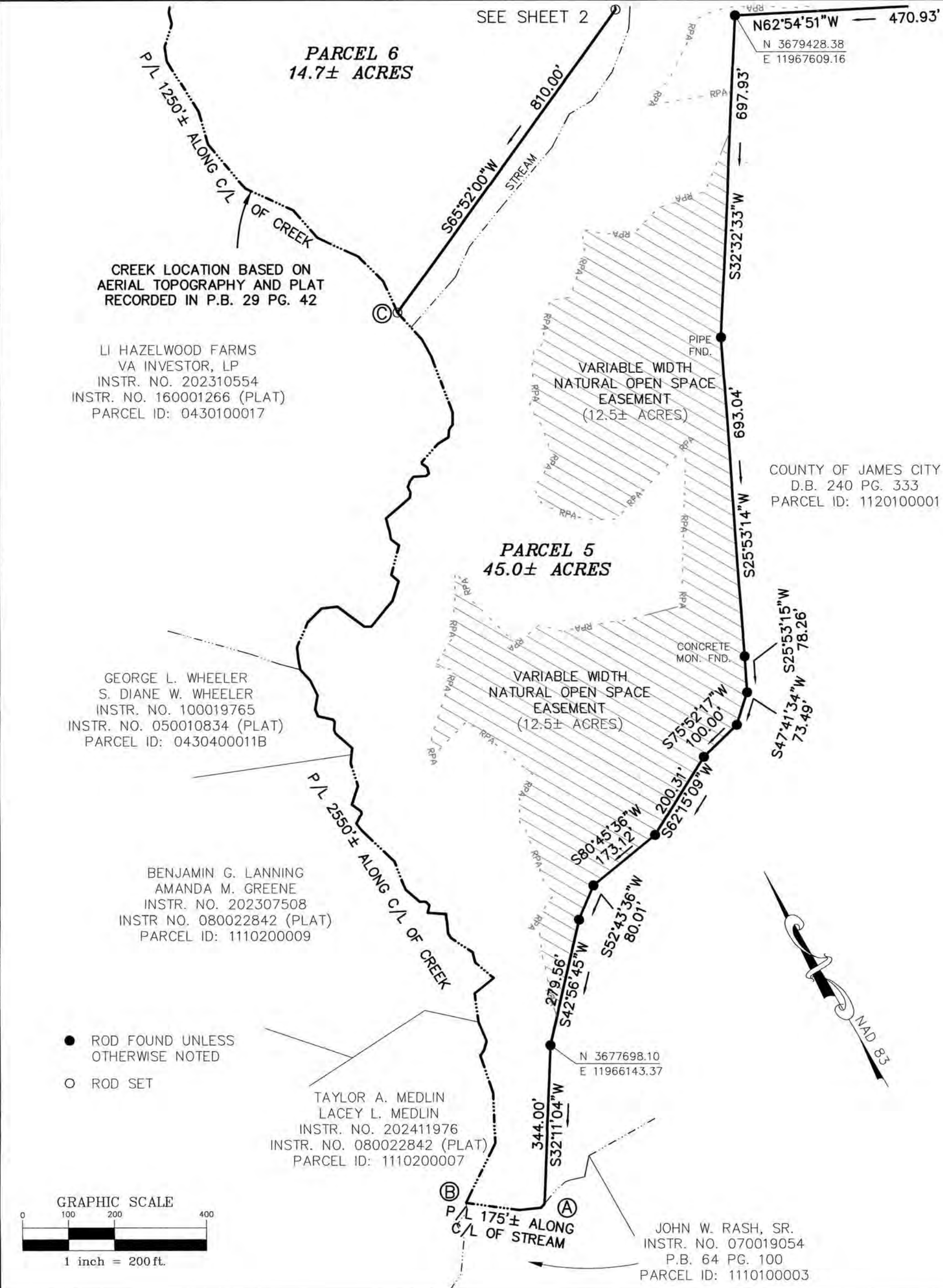
Susan M. Istones 11/24/2025
SUBDIVISION AGENT OF JAMES CITY COUNTY DATE
Yogendra Patel 11/17/25
VIRGINIA DEPARTMENT OF TRANSPORTATION DATE

9 Large/Small Plat(s) Recorded
herewith as # 202516664

202516664



202516664



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	645.00'	11609.16'	3°11'00"	322.58'	S65°14'13"E	644.92'
C2	298.47'	892.20'	19°10'02"	150.64'	S53°49'01"E	297.08'
C3	287.00'	577.46'	28°28'36"	146.53'	S77°38'19"E	284.06'
C4	452.41'	1144.20'	22°39'15"	229.20'	S34°33'18"W	449.46'
C5	192.53'	580.00'	19°01'08"	97.16'	S10°30'42"W	191.64'
C6	33.80'	25.00'	77°27'40"	20.05'	S25°49'57"W	31.28'
C7	114.59'	145.47'	45°08'02"	60.45'	S87°07'48"W	111.65'
C8	130.06'	367.00'	20°18'19"	65.72'	S33°22'51"W	129.38'
C9	146.07'	460.26'	18°11'02"	73.66'	S34°26'29"W	145.46'
C10	198.27'	142.00'	80°00'02"	119.15'	S65°20'59"W	182.55'
C11	279.68'	3020.00'	5°18'22"	139.94'	N65°23'11"W	279.58'
C12	736.68'	2980.00'	14°09'51"	370.23'	N69°48'55"W	734.81'
C13	776.53'	3020.00'	14°43'57"	390.42'	N69°31'52"W	774.39'
C14	540.00'	2020.00'	15°19'00"	271.62'	N54°30'24"W	538.39'
C15	523.00'	2080.00'	14°24'24"	262.89'	N54°57'42"W	521.63'
C16	791.96'	3080.00'	14°43'57"	398.17'	N69°31'52"W	789.78'
C17	721.85'	2920.00'	14°09'51"	362.78'	N69°48'55"W	720.02'
C18	380.77'	3080.00'	7°05'00"	190.63'	N66°16'30"W	380.53'
C19	72.80'	80.00'	52°08'28"	39.14'	N43°44'46"W	70.32'
C20	204.94'	577.00'	20°21'02"	103.56'	N07°30'01"W	203.86'
C21	66.86'	823.00'	4°39'16"	33.45'	S04°49'38"E	66.84'
C22	180.97'	577.46'	17°57'21"	91.23'	S82°53'57"E	180.23'
C23	106.04'	577.46'	10°31'15"	53.17'	S68°39'39"E	105.89'
C24	310.08'	3080.00'	5°46'06"	155.17'	S65°02'57"E	309.95'
C25	481.87'	3080.00'	8°57'51"	241.43'	S72°24'55"E	481.38'
C26	396.39'	3000.00'	7°34'14"	198.49'	N66°31'07"W	396.11'
C27	345.24'	3000.00'	6°35'37"	172.81'	N73°36'02"W	345.04'
C28	97.52'	2020.00'	2°45'58"	48.77'	N60°46'55"W	97.51'
C29	130.03'	2020.00'	3°41'18"	65.04'	N57°33'17"W	130.01'
C30	312.44'	2020.00'	8°51'44"	156.53'	N51°16'46"W	312.13'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S66°46'19"E	10.00'
L2	S01°00'08"W	91.75'
L3	S77°06'07"W	20.00'
L4	N66°46'19"W	6.22'
L5	S23°13'41"W	17.92'
L6	S43°32'00"W	123.00'
L7	N74°39'00"W	143.36'
L8	S69°49'00"E	92.80'
L9	S02°40'30"W	183.32'
L10	S02°30'00"E	54.83'
L11	S77°06'07"W	11.91'
L12	N31°41'00"E	120.02'
L13	S58°19'00"E	130.00'
L14	S31°41'00"W	121.75'

- SURVEY TIE LINE**
- (A) TO (B) N59°25'37"W 170.03'
 - (B) TO (C) N25°39'26"E 1935.55'
 - (B) TO (F) N22°38'30"E 4610.00'
 - (C) TO (D) N08°16'46"E 1079.41'
 - (D) TO (E) N14°12'35"E 68.26'
 - (E) TO (F) N29°03'37"E 1573.79'

9 Large/Small Plat(s) Recorded
herewith as # 202516664

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
Dec. 3, 2025
at 12:35 AM/PM, PG. PG.
Document # 202516664
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk



**LOVETT 64
COMMERCE CENTER**

POWHATAN DISTRICT * JAMES CITY COUNTY, VA
DATE: SEPTEMBER 25, 2025 SCALE: 1" = 200'

JENNINGS STEPHENSON P.C.
LAND SURVEYORS & PLANNERS
10160 STAPLES MILL ROAD
SUITE 103
GLEN ALLEN, VA 23060
PHONE - 804-545-6235
J.N. 23-592

202516664

UTILITY EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C31	20.05'	3080.00'	0°22'23"	10.03'	S65°19'48"E	20.05'
C32	129.92'	3080.00'	2°25'01"	64.97'	S66°43'30"E	129.91'
C33	228.94'	3000.00'	4°22'21"	114.52'	N74°42'40"W	228.88'
C34	20.00'	3020.00'	0°22'46"	10.00'	N69°35'03"W	20.00'

SWM/BMP EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C35	19.80'	26.00'	43°38'30"	10.41'	N84°33'15"W	19.33'
C36	29.06'	18.50'	90°00'00"	18.50'	N17°44'00"W	26.16'
C37	35.03'	18.50'	108°30'00"	25.70'	N81°31'00"E	30.03'
C38	15.72'	26.00'	34°38'00"	8.11'	S26°55'00"E	15.48'
C96	20.15'	3020.00'	0°22'56"	10.08'	N69°47'22"W	20.15'

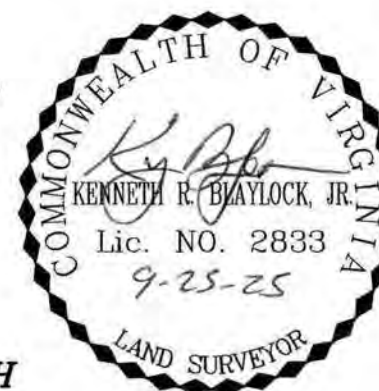
UTILITY EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L15	S20°26'00"W	45.72'
L16	N69°34'00"W	20.00'
L17	N20°26'00"E	47.20'
L18	N20°46'00"E	20.00'
L19	S69°35'12"E	20.00'
L20	S20°46'00"W	20.00'

SWM/BMP EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L42	N62°44'00"W	21.00'
L43	N27°16'00"E	181.00'
L44	S62°44'00"E	28.50'
L45	S27°16'00"W	15.00'
L46	N64°20'30"W	289.00'
L47	N25°39'30"E	19.00'
L48	S64°20'30"E	178.85'
L49	N25°39'30"E	10.00'
L50	S64°20'30"E	10.00'
L51	S25°39'30"W	10.00'
L52	S64°20'30"E	83.75'
L53	N25°39'30"E	7.00'
L54	N64°20'30"W	10.00'
L55	S25°39'30"W	7.00'
L56	S64°20'30"E	6.40'
L57	S25°39'30"W	19.00'
L58	N62°44'00"W	15.00'
L59	N27°16'00"E	5.35'
L60	N07°13'30"E	4.29'
L61	N53°48'00"W	80.22'
L62	N57°59'30"W	21.85'
L63	S73°37'30"W	9.06'
L64	N62°44'00"W	26.00'
L65	N27°16'00"E	21.35'
L66	S44°14'00"E	28.17'
L67	S09°36'00"E	11.36'
L68	S57°59'26"E	9.59'
L69	S36°12'00"W	1.00'
L70	N53°48'00"W	102.46'
L71	S07°13'30"W	15.78'
L72	S27°16'00"W	8.00'
L254	N62°44'00"W	7.50'
L255	S27°16'00"W	110.70'
L256	S62°44'00"E	7.50'
L257	S27°16'00"W	15.00'
L258	N62°44'00"W	7.50'
L259	S27°16'00"W	40.30'
L272	S27°16'00"W	140.50'
L273	S62°44'00"E	10.00'
L274	S27°16'00"W	18.50'
L275	N62°44'00"W	28.50'

SWM/BMP ACCESS LINE TABLE		
LINE	BEARING	LENGTH
L21	N62°44'00"W	7.75'
L22	N62°44'00"W	20.00'
L23	N27°16'00"E	72.00'
L24	N62°44'00"W	61.00'
L25	S27°16'00"W	31.96'
L28	N64°20'30"W	3.60'
L29	N27°16'00"E	52.52'
L30	S62°44'00"E	81.00'
L31	N27°16'00"E	960.50'
L32	N44°14'00"W	323.00'
L33	S45°46'00"W	20.00'
L34	N44°14'00"W	20.00'
L35	N45°46'00"E	40.00'
L36	S44°14'00"E	357.40'
L37	S27°16'00"W	348.20'
L38	S62°44'00"E	26.00'
L39	S27°16'00"W	20.00'
L40	N62°44'00"W	26.00'
L41	S27°16'00"W	698.70'
L264	N27°16'00"E	102.69'
L265	S62°44'00"E	189.00'
L266	S74°30'00"E	398.80'
L267	N76°06'00"E	67.20'
L268	N27°16'00"E	419.00'
L269	S62°44'00"E	64.50'
L270	S27°16'00"W	109.20'
L271	N62°44'00"W	44.50'

PARCEL 3
27.593 ACRES

PARCEL 2
74.3± ACRES



VARIABLE WIDTH
SWM/BMP EASEMENT
(0.120 ACRE)
SEE INSERT 'A'

VARIABLE WIDTH
SWM/BMP EASEMENT
(0.092 ACRE)

VARIABLE WIDTH
SWM/BMP ACCESS
EASEMENT
(0.650 ACRE)

20' SWM/BMP
ACCESS
EASEMENT
(0.719 ACRE)

VARIABLE WIDTH
SWM/BMP EASEMENT
(0.130 ACRE)
SEE INSERT 'B'

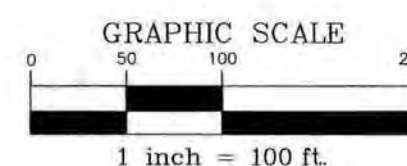
30' VDOT
DRAINAGE
EASEMENT
(0.041 ACRE)

30' VDOT
DRAINAGE
EASEMENT
(0.044 ACRE)

INSERT 'A'
NOT TO SCALE

INSERT 'B'
NOT TO SCALE

INNOVATION DRIVE
(60' R/W)



LOVETT 64
COMMERCE CENTER

POWATAN DISTRICT * JAMES CITY COUNTY, VA
DATE: SEPTEMBER 25, 2025 SCALE: 1" = 100'

JENNINGSTEPHENSON P.C.
LAND SURVEYORS
& PLANNERS

10160 STAPLES MILL ROAD
SUITE 103
GLEN ALLEN, VA 23060
PHONE - 804-545-6235

J.N. 23-592

SHEET 4 OF 9

Large Small Plat(s) Recorded
herewith as # 202516664

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
at 12:35 AM PM, PG
Document # 202516664
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

202516664

SWM/BMP ACCESS EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C47	20.00'	2020.00'	0°34'02"	10.00'	N57°31'26"W	20.00'
C48	23.84'	76.00'	17°58'23"	12.02'	S00°57'32"E	23.74'
C49	20.34'	50.00'	23°18'26"	10.31'	N67°57'22"E	20.20'

DRAINAGE EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C39	293.94'	3020.00'	5°34'36"	147.09'	N74°06'33"W	293.82'
C40	30.38'	3020.00'	0°34'35"	15.19'	N71°01'57"W	30.38'
C41	115.16'	3020.00'	2°11'05"	57.59'	N68°18'08"W	115.15'
C42	20.00'	3020.00'	0°22'46"	10.00'	N67°01'12"W	20.00'
C43	245.90'	3020.00'	4°39'55"	123.02'	N64°29'51"W	245.83'
C44	16.56'	2020.00'	0°28'11"	8.28'	N55°28'32"W	16.56'
C45	20.03'	2020.00'	0°34'06"	10.02'	N54°57'24"W	20.03'
C46	21.95'	29.00'	43°22'12"	11.53'	S28°59'28"E	21.43'

SWM/BMP EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C50	32.54'	29.00'	64°16'49"	18.22'	N26°10'36"W	30.86'
C51	55.41'	29.00'	109°28'28"	41.01'	N89°01'54"E	47.36'
C52	79.93'	29.00'	157°55'00"	148.61'	S42°43'30"W	56.93'
C53	104.04'	76.00'	78°26'12"	62.02'	N27°02'06"W	96.11'
C54	7.43'	9.00'	47°17'34"	3.94'	N11°27'47"W	7.22'
C55	134.03'	51.00'	150°34'30"	194.23'	N40°10'45"E	98.66'
C56	50.06'	110.00'	26°04'30"	25.47'	S54°31'45"E	49.63'
C57	26.40'	49.00'	30°52'19"	13.53'	S56°55'32"E	26.08'
C58	82.51'	76.00'	62°12'00"	45.85'	S41°16'00"E	78.51'
C59	45.51'	76.00'	34°18'37"	23.46'	S06°59'11"W	44.83'
C60	51.31'	76.00'	38°40'45"	26.67'	S06°58'12"W	50.34'
C61	83.94'	55.00'	87°26'30"	52.60'	S70°01'45"W	76.03'
C62	5.74'	9.00'	36°30'40"	2.97'	S05°53'10"W	5.64'

SWM/BMP ACCESS LINE TABLE		
LINE	BEARING	LENGTH
L85	N31°47'00"E	142.31'
L86	S58°19'00"E	20.00'
L87	S31°47'00"W	38.58'
L88	S58°21'00"E	185.00'
L89	N58°21'00"W	197.84'
L90	S31°47'00"W	84.00'
L91	N10°10'00"W	20.00'
L92	N79°50'00"E	55.32'
L93	N27°16'00"E	265.93'
L94	N13°59'00"W	77.95'
L95	S13°59'00"E	88.30'
L96	S62°44'00"E	8.20'
L97	S27°16'00"W	283.33'
L98	S79°50'00"W	65.20'
L138	S10°10'00"E	16.33'

DRAINAGE EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L73	N09°54'00"E	95.32'
L74	N67°54'00"W	94.05'
L75	N26°18'30"E	30.08'
L76	S67°54'00"E	116.05'
L77	S09°54'00"W	124.31'
L78	N23°45'00"E	46.42'
L79	S66°15'00"E	20.00'
L80	S23°45'00"W	46.15'
L81	N31°46'00"E	128.74'
L82	N82°04'00"E	32.30'
L83	S82°04'00"W	30.61'
L84	S31°46'00"W	120.49'
L139	S26°18'30"W	11.85'
L140	N66°15'00"W	127.45'

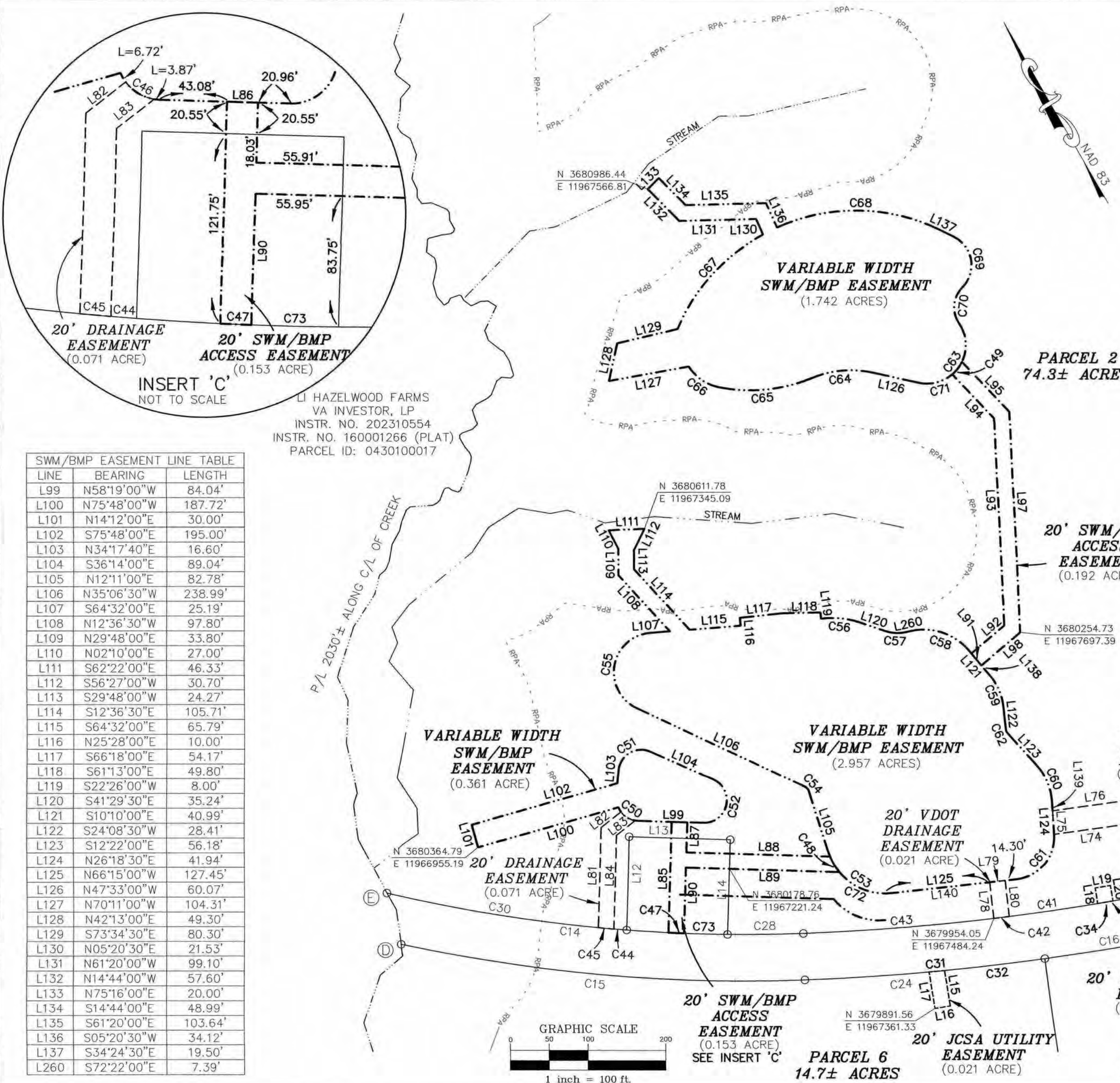


LOVETT 64
COMMERCE CENTER

POWHATAN DISTRICT * JAMES CITY COUNTY, VA

DATE: SEPTEMBER 25, 2025 SCALE: 1" = 100'

JENNINGSSTEPHENSON P.C.
LAND SURVEYORS & PLANNERS
10160 STAPLES MILL ROAD SUITE 103
GLEN ALLEN, VA 23060
PHONE - 804-545-6235
J.N. 23-592

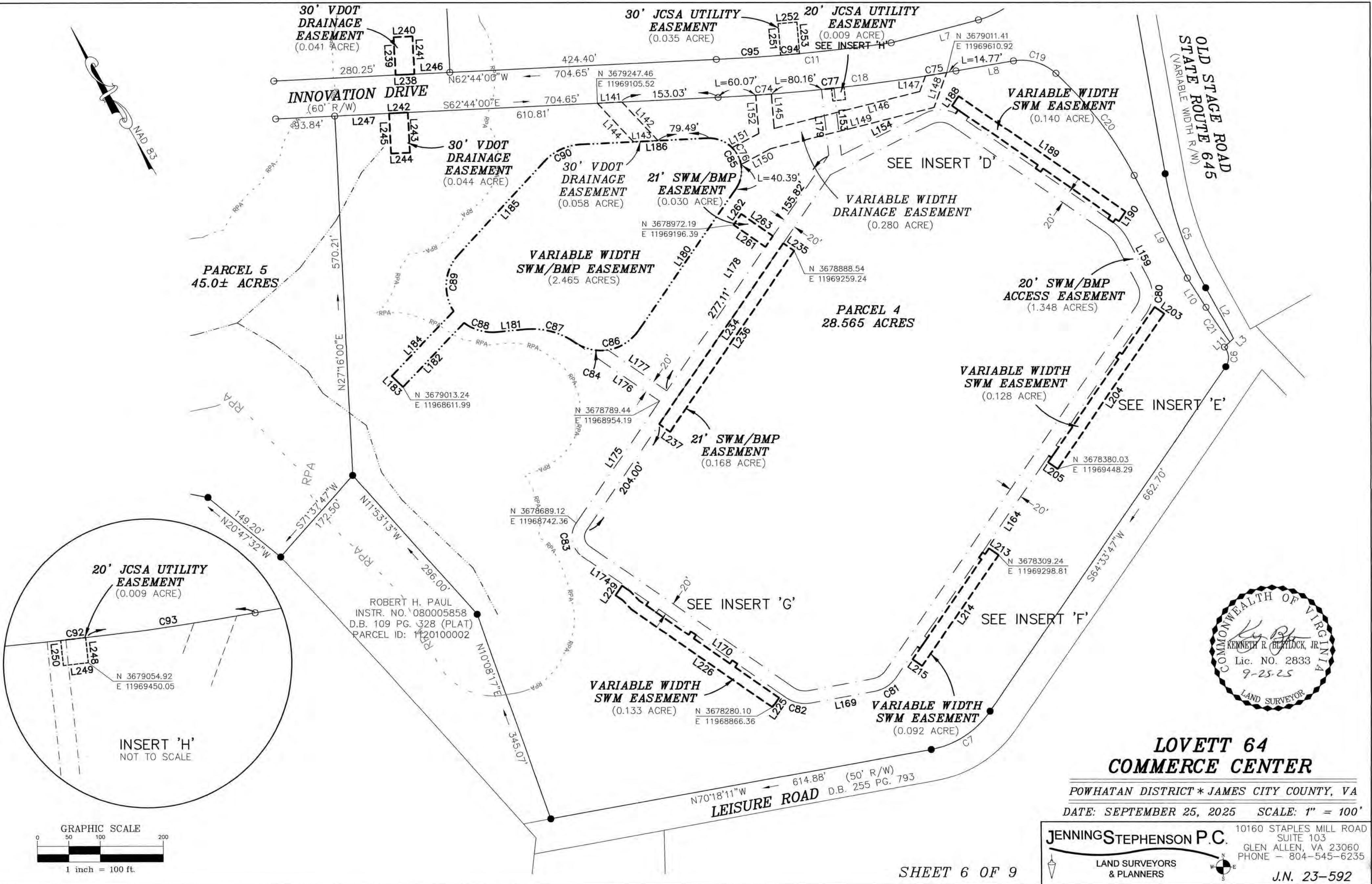


SWM/BMP EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L99	N58°19'00"W	84.04'
L100	N75°48'00"W	187.72'
L101	N14°12'00"E	30.00'
L102	S75°48'00"E	195.00'
L103	N34°17'40"E	16.60'
L104	S36°14'00"E	89.04'
L105	N12°11'00"E	82.78'
L106	N35°06'30"W	238.99'
L107	S64°32'00"E	25.19'
L108	N12°36'30"W	97.80'
L109	N29°48'00"E	33.80'
L110	N02°10'00"E	27.00'
L111	S62°22'00"E	46.33'
L112	S56°27'00"W	30.70'
L113	S29°48'00"W	24.27'
L114	S12°36'30"E	105.71'
L115	S64°32'00"E	65.79'
L116	N25°28'00"E	10.00'
L117	S66°18'00"E	54.17'
L118	S61°13'00"E	49.80'
L119	S22°26'00"W	8.00'
L120	S41°29'30"E	35.24'
L121	S10°10'00"E	40.99'
L122	S24°08'30"W	28.41'
L123	S12°22'00"E	56.18'
L124	N26°18'30"E	41.94'
L125	N66°15'00"W	127.45'
L126	N47°33'00"W	60.07'
L127	N70°11'00"W	104.31'
L128	N42°13'00"E	49.30'
L129	S73°34'30"E	80.30'
L130	N05°20'30"E	21.53'
L131	N61°20'00"W	99.10'
L132	N14°44'00"W	57.60'
L133	N75°16'00"E	20.00'
L134	S14°44'00"E	48.99'
L135	S61°20'00"E	103.64'
L136	S05°20'30"W	34.12'
L137	S34°24'30"E	19.50'
L260	S72°22'00"E	7.39'

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
at 12:35 AM (PM) on 09/25/2025
Document # 202516664
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

202516664

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
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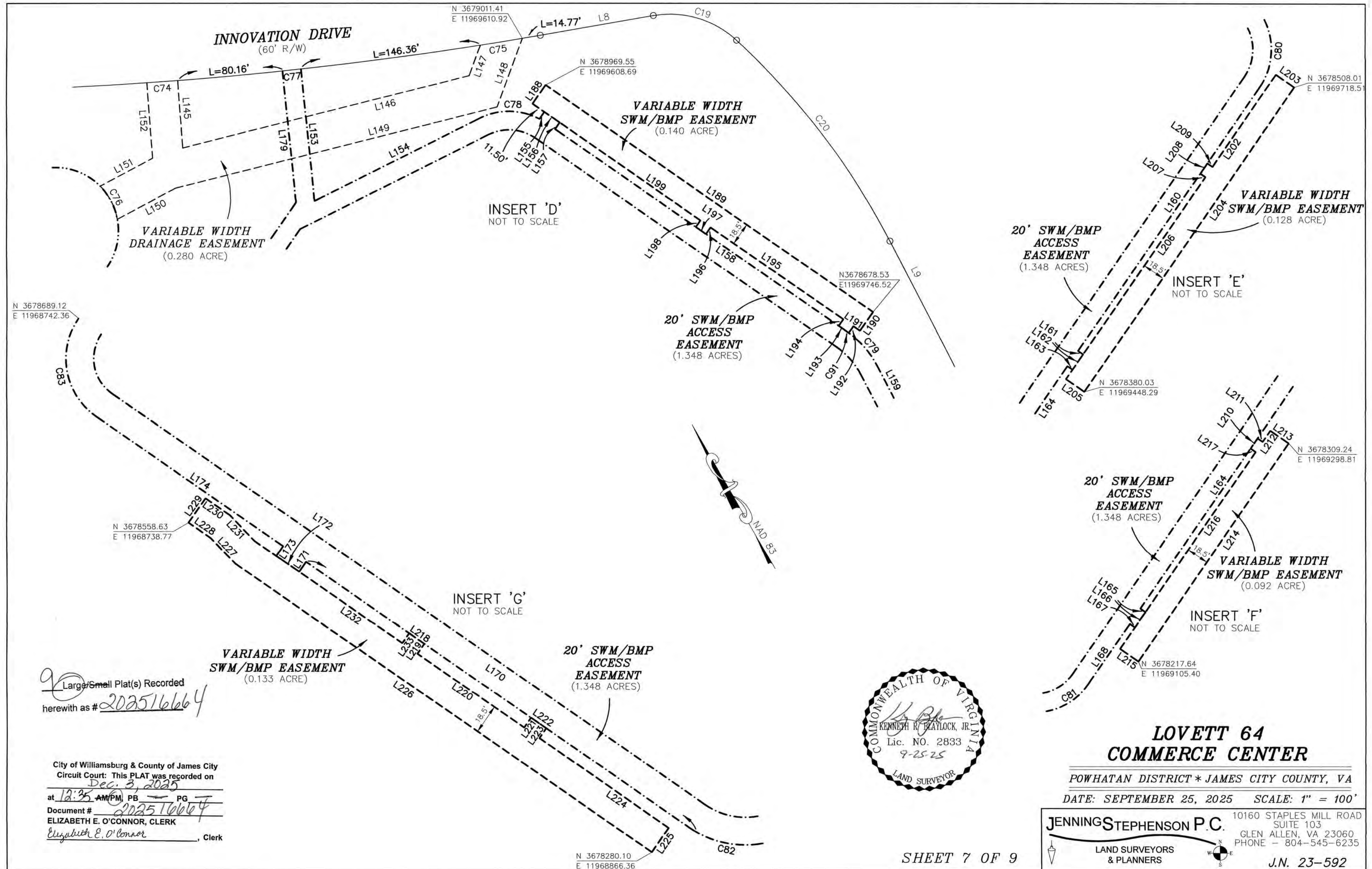


**LOVETT 64
COMMERCE CENTER**

POWHATAN DISTRICT * JAMES CITY COUNTY, VA
DATE: SEPTEMBER 25, 2025 SCALE: 1" = 100'

JENNINGSSTEPHENSON P.C.
LAND SURVEYORS & PLANNERS
10160 STAPLES MILL ROAD
SUITE 103
GLEN ALLEN, VA 23060
PHONE - 804-545-6235
J.N. 23-592

202516664



202516664

SWM/BMP EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C63	118.91'	50.00'	136°15'27"	124.56'	S64°19'17"W	92.80'
C64	80.29'	132.00'	34°50'59"	41.43'	N64°58'29"W	79.06'
C65	122.00'	208.00'	33°36'20"	62.81'	N65°35'49"W	120.26'
C66	48.23'	60.00'	46°03'29"	25.50'	N25°45'54"W	46.94'
C67	166.69'	250.00'	38°12'09"	86.58'	N72°19'38"E	163.62'
C68	216.32'	250.00'	49°34'35"	115.45'	S59°11'47"E	209.63'
C69	78.08'	41.00'	109°07'13"	57.61'	S20°09'06"W	66.81'
C70	49.34'	36.00'	78°31'10"	29.42'	S35°27'08"W	45.56'
C85	113.39'	51.00'	127°23'30"	103.17'	S00°57'45"W	91.44'
C86	114.67'	73.00'	90°00'00"	73.00'	N70°20'30"W	103.24'
C87	83.30'	119.00'	40°06'30"	43.44'	N45°23'45"W	81.61'
C88	54.84'	73.00'	43°02'23"	28.78'	N43°55'49"W	53.56'
C89	96.08'	73.00'	75°24'27"	56.43'	N35°03'16"E	89.29'
C90	66.81'	86.00'	44°30'36"	35.19'	S84°59'18"E	65.14'

SWM/BMP ACCESS EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C71	46.11'	50.00'	52°50'24"	24.84'	N73°58'12"W	44.49'
C72	74.69'	76.00'	56°18'28"	40.67'	N38°05'58"W	71.72'
C73	56.10'	2020.00'	1°35'28"	28.05'	N58°36'12"W	56.10'
C77	20.00'	3080.00'	0°22'19"	10.00'	S65°59'36"E	20.00'
C78	50.24'	53.00'	54°18'47"	27.19'	S59°22'06"E	48.38'
C79	38.14'	78.00'	28°01'00"	19.46'	S11°20'00"E	37.76'
C80	57.34'	53.00'	61°59'01"	31.84'	S33°40'00"W	54.58'
C81	41.63'	53.00'	45°00'00"	21.95'	S87°09'30"W	40.56'
C82	41.63'	53.00'	45°00'00"	21.95'	N47°50'30"W	40.56'
C83	59.69'	38.00'	90°00'00"	38.00'	N19°39'30"E	53.74'
C84	55.35'	73.00'	43°26'44"	29.08'	S47°03'52"E	54.04'

DRAINAGE EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C74	25.00'	3080.00'	0°27'54"	12.50'	S64°05'00"E	25.00'
C75	34.40'	3080.00'	0°38'24"	17.20'	S69°13'19"E	34.40'
C76	30.45'	51.00'	34°12'33"	15.69'	N02°10'20"E	30.00'

SWM/BMP EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C91	2.00'	78.00'	1°28'09"	1.00'	N24°36'25"W	2.00'

UTILITY EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C92	20.00'	3080.00'	0°22'19"	10.00'	S66°17'13"E	20.00'
C93	179.75'	3080.00'	3°20'38"	89.90'	S68°08'41"E	179.72'
C94	30.00'	3020.00'	0°34'09"	15.00'	N64°58'04"W	30.00'
C95	102.78'	3020.00'	1°57'00"	51.39'	N63°42'30"W	102.77'

SWM/BMP EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L188	N64°39'30"E	18.50'
L189	S25°20'30"E	322.00'
L190	S64°39'30"W	18.50'
L191	N25°20'30"W	6.50'
L192	S64°39'30"W	6.53'
L193	N25°20'30"W	8.00'
L194	N64°39'30"E	6.50'
L195	N25°20'30"W	130.40'
L196	S64°39'30"W	6.50'
L197	N25°20'30"W	10.00'
L198	N64°39'30"E	6.50'
L199	N25°20'30"W	165.10'
L202	N64°39'30"E	90.58'
L203	S25°20'30"E	18.50'
L204	S64°39'30"W	299.00'
L205	N25°20'30"W	18.50'
L206	N64°39'30"E	198.42'
L207	N25°20'30"W	5.00'
L208	N64°39'30"E	10.00'
L209	S25°20'30"E	5.00'
L210	N64°39'30"E	10.00'
L211	S25°20'30"E	5.00'
L212	N64°39'30"E	11.00'
L213	S25°20'30"E	18.50'
L214	S64°39'30"W	214.00'
L215	N25°20'30"W	18.50'
L216	N64°39'30"E	193.00'
L217	N25°20'30"W	5.00'
L218	N25°20'30"W	10.00'
L219	S64°39'30"W	6.50'
L220	S25°20'30"E	70.00'
L221	N64°39'30"E	6.50'
L222	S25°20'30"E	10.00'
L223	S64°39'30"W	6.50'
L224	S25°20'30"E	84.83'
L225	S64°39'30"W	18.50'
L226	N25°20'30"W	273.26'
L227	N13°38'00"W	19.24'
L228	N25°20'30"W	14.24'
L229	N64°39'30"E	18.50'
L230	S25°20'30"E	16.14'
L231	S13°38'00"E	19.24'
L232	S25°20'30"E	96.53'
L233	N64°39'30"E	6.50'
L234	N64°39'30"E	348.50'
L235	S25°20'30"E	21.00'
L236	S64°39'30"W	348.50'
L237	N25°20'30"W	21.00'
L261	N25°20'30"W	61.50'
L262	N64°39'30"E	21.00'
L263	S25°20'30"E	61.50'

SWM/BMP ACCESS LINE TABLE		
LINE	BEARING	LENGTH
L153	S24°08'00"W	106.86'
L154	S86°31'30"E	149.50'
L155	N64°39'30"E	6.88'
L156	S25°20'30"E	15.00'
L157	S64°39'30"W	6.50'
L158	S25°20'30"E	282.00'
L159	S02°40'30"W	70.67'
L160	S64°39'30"W	253.87'
L161	S25°20'30"E	5.00'
L162	S64°39'30"W	20.00'
L163	N25°20'30"W	5.00'
L164	S64°39'30"W	347.69'
L165	S25°20'30"E	5.00'
L166	S64°39'30"W	20.00'
L167	N25°20'30"W	5.00'
L168	S64°39'30"W	59.14'
L169	N70°20'30"W	103.48'
L170	N25°20'30"W	246.33'
L171	S64°39'30"W	6.50'
L172	N25°20'30"W	15.00'
L173	N64°39'30"E	6.50'
L174	N25°20'30"W	127.50'
L175	N64°39'30"E	234.39'
L176	N25°20'30"W	164.10'
L177	S25°20'30"E	113.90'
L178	N64°39'30"E	453.93'
L179	N24°08'00"E	104.50'

UTILITY EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L248	S23°27'00"W	19.90'
L249	N66°33'00"W	20.00'
L250	N23°27'00"E	20.00'
L251	N25°07'30"E	50.05'
L252	S64°52'30"E	30.00'
L253	S25°07'30"W	50.00'

DRAINAGE EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L141	S62°44'00"E	39.21'
L142	S12°49'00"E	83.79'
L143	N62°44'00"W	39.21'
L144	N12°49'00"W	83.79'
L145	S25°47'30"W	54.55'
L146	S74°07'20"E	239.11'
L147	N50°05'20"E	26.01'
L148	S50°05'20"W	58.73'
L149	N74°07'20"W	268.50'
L150	N87°49'20"W	53.26'
L151	S87°49'20"E	47.98'
L152	N25°47'30"E	61.11'

DRAINAGE EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L180	S64°39'30"W	273.20'
L181	N65°27'00"W	45.72'
L182	S73°45'00"W	140.74'
L183	N16°15'00"W	25.00'
L184	N73°45'00"E	142.37'
L185	N72°45'30"E	200.99'
L186	S62°44'00"E	202.29'

VDOT DRAINAGE ESMT LINE TABLE		
LINE	BEARING	LENGTH
L238	S62°44'00"E	30.00'
L239	N27°16'00"E	60.00'
L240	S62°44'00"E	30.00'
L241	S27°16'00"W	60.00'
L242	S62°44'00"E	30.00'
L243	S27°16'00"W	64.00'
L244	N62°44'00"W	30.00'
L245	N27°16'00"E	64.00'
L246	N62°44'00"W	56.63'
L247	S62°44'00"E	86.46'

Large/Small Plat(s) Recorded
herewith as # 202516664

City of Williamsburg & County of James City
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Dec 3, 2025
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Elizabeth E. O'Connor, Clerk



LOVETT 64
COMMERCE CENTER

POWHATAN DISTRICT * JAMES CITY COUNTY, VA

DATE: SEPTEMBER 25, 2025 SCALE: 1" = 100'

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LAND SURVEYORS
& PLANNERS

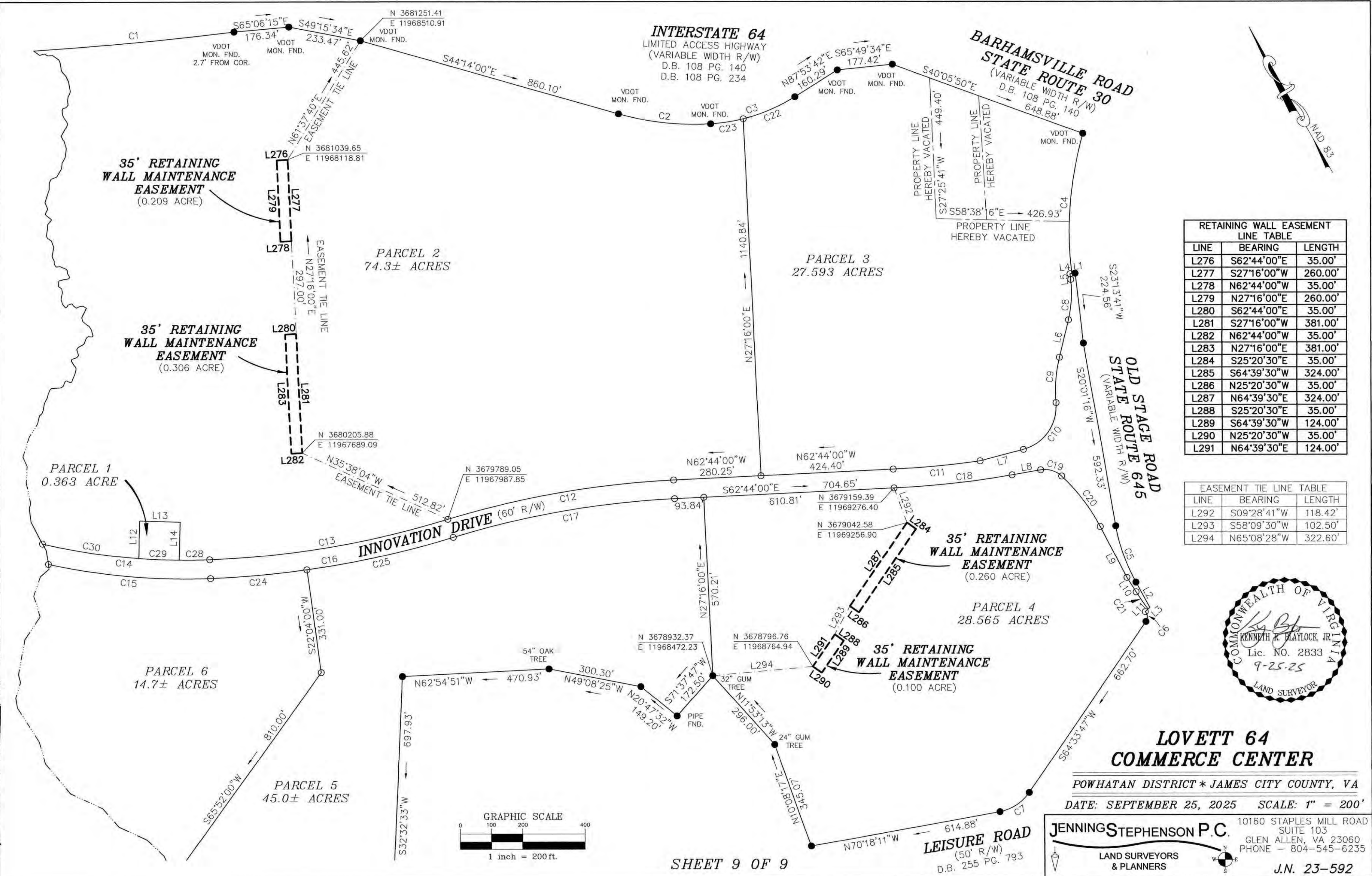
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Elizabeth E. O'Connor Clerk



RETAINING WALL EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L276	S62°44'00"E	35.00'
L277	S27°16'00"W	260.00'
L278	N62°44'00"W	35.00'
L279	N27°16'00"E	260.00'
L280	S62°44'00"E	35.00'
L281	S27°16'00"W	381.00'
L282	N62°44'00"W	35.00'
L283	N27°16'00"E	381.00'
L284	S25°20'30"E	35.00'
L285	S64°39'30"W	324.00'
L286	N25°20'30"W	35.00'
L287	N64°39'30"E	324.00'
L288	S25°20'30"E	35.00'
L289	S64°39'30"W	124.00'
L290	N25°20'30"W	35.00'
L291	N64°39'30"E	124.00'

EASEMENT TIE LINE TABLE		
LINE	BEARING	LENGTH
L292	S09°28'41"W	118.42'
L293	S58°09'30"W	102.50'
L294	N65°08'28"W	322.60'