

EROSION & SEDIMENT CONTROL NOTES

GENERAL:

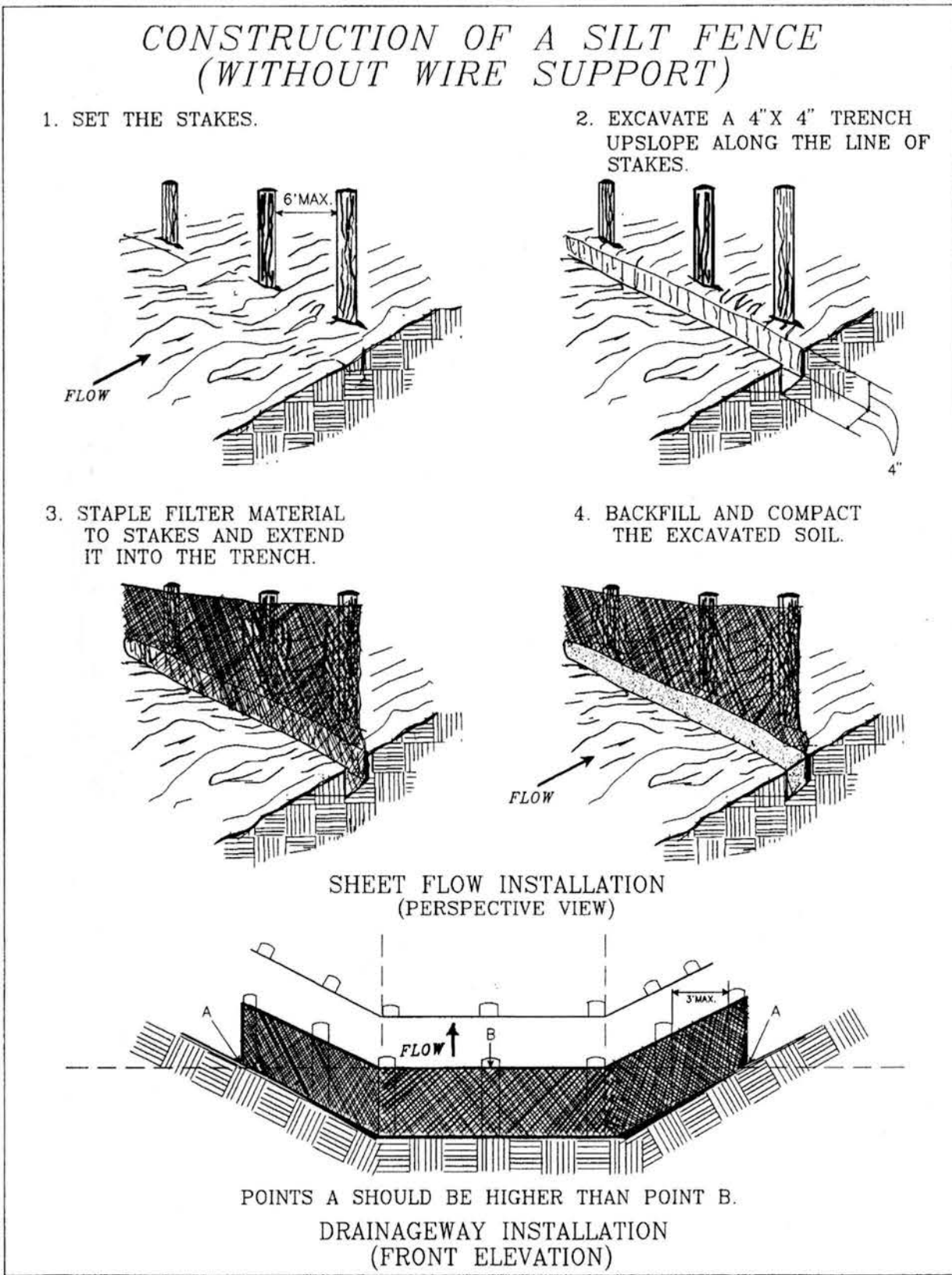
1. THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
2. THIS SITE IS LOCATED IN HUGO 1062 AND IS WITHIN THE YORK WARE CREEK WATERSHED.
3. THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
4. TOPOGRAPHIC SURVEY INCLUDING ELEVATIONS, UTILITIES, AND EASEMENTS SHOWN ARE BASED ON SURVEY PROVIDED BY LAND TECH RESOURCES, INC. AND DATED APRIL 28, 2025.
5. THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
6. THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
7. A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
8. ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
9. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
10. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDDED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-1 (JUTE MESH).

JAMES CITY COUNTY STANDARD STORMWATER NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED EROSION AND SEDIMENT CONTROL OR STORMWATER MANAGEMENT PLAN OF DEVELOPMENT PROJECT IN JAMES CITY COUNTY, VIRGINIA. THE COUNTY'S DIVISION OF STORMWATER AND RESOURCE PROTECTION (SRP) IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESCOP) AUTHORITY AND THE LOCAL VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMMP) AUTHORITY.

1. ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (E4SC) LAW AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS, THE VIRGINIA BEST MANAGEMENT PRACTICE (BMP) CLEARINGHOUSE WEBSITE, STATE E4SC AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESCOP AND VSMMP AUTHORITY SHALL APPLY TO THE PROJECT.
2. MINIMUM STANDARDS NUMBERS 1 THROUGH 14 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-8-40 SHALL APPLY TO THE PROJECT.
3. THE OPERATOR SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VIRGINIA POLLUTANT DISCHARGE ELIMINATION SYSTEM (VPDES) PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 880, THE VSMMP REGULATIONS CHAPTER 810, AND IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE VSMMP, THE STATE WATER CONTROL BOARD, THE VIRGINIA DEQ, CHAPTER 8 OF THE COUNTY CODE, AND THE LOCAL VESCOP/VSMMP AUTHORITY.
4. THE OPERATOR SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE ISSUED BY DEQ SIGNIFYING WHO IS RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY IN ACCORDANCE WITH THE APPROVED E4SC PLAN. THE RLD MUST BE DESIGNATED ON THE E4SC PLAN OR PERMIT AS A PREREQUISITE FOR ENGAGING IN LAND DISTURBANCE. THE RLD IS REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING FOR THE PROJECT.
5. A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCOP/VSMMP AUTHORITY, THE OPERATOR, THE RLD, THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES, AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OPERATOR IS REQUIRED TO COORDINATE SCHEDULING OF THE PRE-CONSTRUCTION MEETING WITH THE JAMES CITY COUNTY (JCC) SRP DIVISION.
6. A POLLUTION PREVENTION PLAN (P2 PLAN), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED, AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS AS SPECIFIED IN 9VAC25-810-56. THIS PLAN SHALL BE AVAILABLE ON-SITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCOP/VSMMP AUTHORITY WHEN REQUESTED.
7. OFF-SITE AREAS SHALL BE APPROVED BY THE LOCAL VESCOP/VSMMP AUTHORITY PRIOR TO LAND DISTURBING ACTIVITY AT THE SEPARATE LOCATION. OFF-SITE AREAS SHALL BE INCLUDED AS PART OF THE PROPOSED LAND DISTURBING ACTIVITY OR COVERED BY A SEPARATE APPROVED E4SC PLAN.
8. TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
9. LOCAL VESCOP/VSMMP AUTHORITY WRITTEN APPROVAL SHALL BE REQUIRED PRIOR TO DEVIATIONS FROM THE APPROVED EROSION AND SEDIMENT MEASURES, SEQUENCE OF CONSTRUCTION, OR STORMWATER MANAGEMENT PLAN. SIGNIFICANT DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE THE SUBMITTAL OF AN AMENDED PLAN FOR REVIEW AND APPROVAL.
10. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENuded AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENuded AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
11. FOR THE PURPOSES OF BOND REDUCTIONS OR RELEASES, FINAL STABILIZATION WILL BE DEFINED AS THE COMPLETION OF ALL SOIL DISTURBING ACTIVITIES AT THE SITE AND THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER ON DENuded AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM (E.G., EVENLY DISTRIBUTED), MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.
12. DESIGN AND CONSTRUCTION OF PRIVATE STORM DRAINAGE SYSTEMS, OUTSIDE OF ANY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE COUNTY'S STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED) GENERAL DESIGN AND CONSTRUCTION GUIDELINES.
13. RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL APPLICABLE STORMWATER FACILITIES, INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY CODE AND THE VESCOP/VSMMP AUTHORITY.
14. ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS, AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCOP/VSMMP AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH THE ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.
15. THE FINAL PROJECT CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH THE JCC CCTV ADMINISTRATIVE GUIDELINES DEVELOPED BY THE VSMMP AUTHORITY.

1992



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

Plate 3.05-2

DETAIL

SCALE: NTS

SILT FENCE
VESCH 3.05

1992

TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA		Total Lbs. Per Acre
Minimum Care Lawn		
- Commercial or Residential		
- Kentucky 31 or Turf-Type Tall Fescue		175-200 lbs.
or		
- Common Bermudagrass **		75 lbs.
High-Maintenance Lawn		
- Kentucky 31 or Turf-Type Tall Fescue		200-250 lbs.
or		
- Hybrid Bermudagrass (seed) **		40 lbs. (unhulled)
or		30 lbs. (hulled)
- Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34)		
General Slope (3:1 or less)		
- Kentucky 31 Fescue		128 lbs.
- Red Top Grass		2 lbs.
- Seasonal Nurse Crop *		20 lbs.
		150 lbs.
Low Maintenance Slope (Steeper than 3:1)		
- Kentucky 31 Tall Fescue		93-108 lbs.
- Common Bermudagrass **		0-15 lbs.
- Red Top Grass		2 lbs.
- Seasonal Nurse Crop *		20 lbs.
- Sericea Lespedeza **		20 lbs.
		150 lbs.

DETAIL

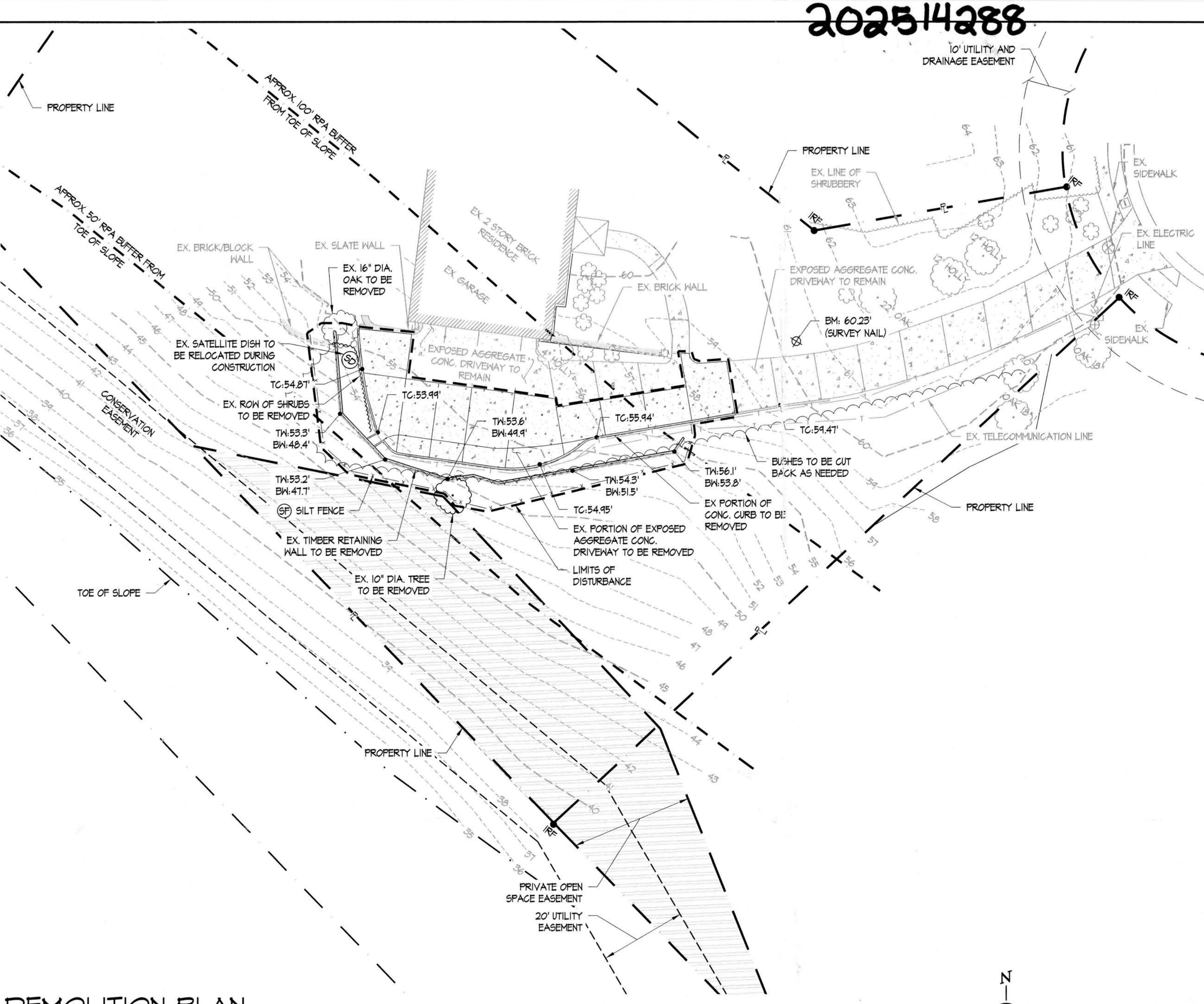
SCALE: NTS

III - 304

TEMPORARY/PERMANENT SEEDING

VESCH 3.32

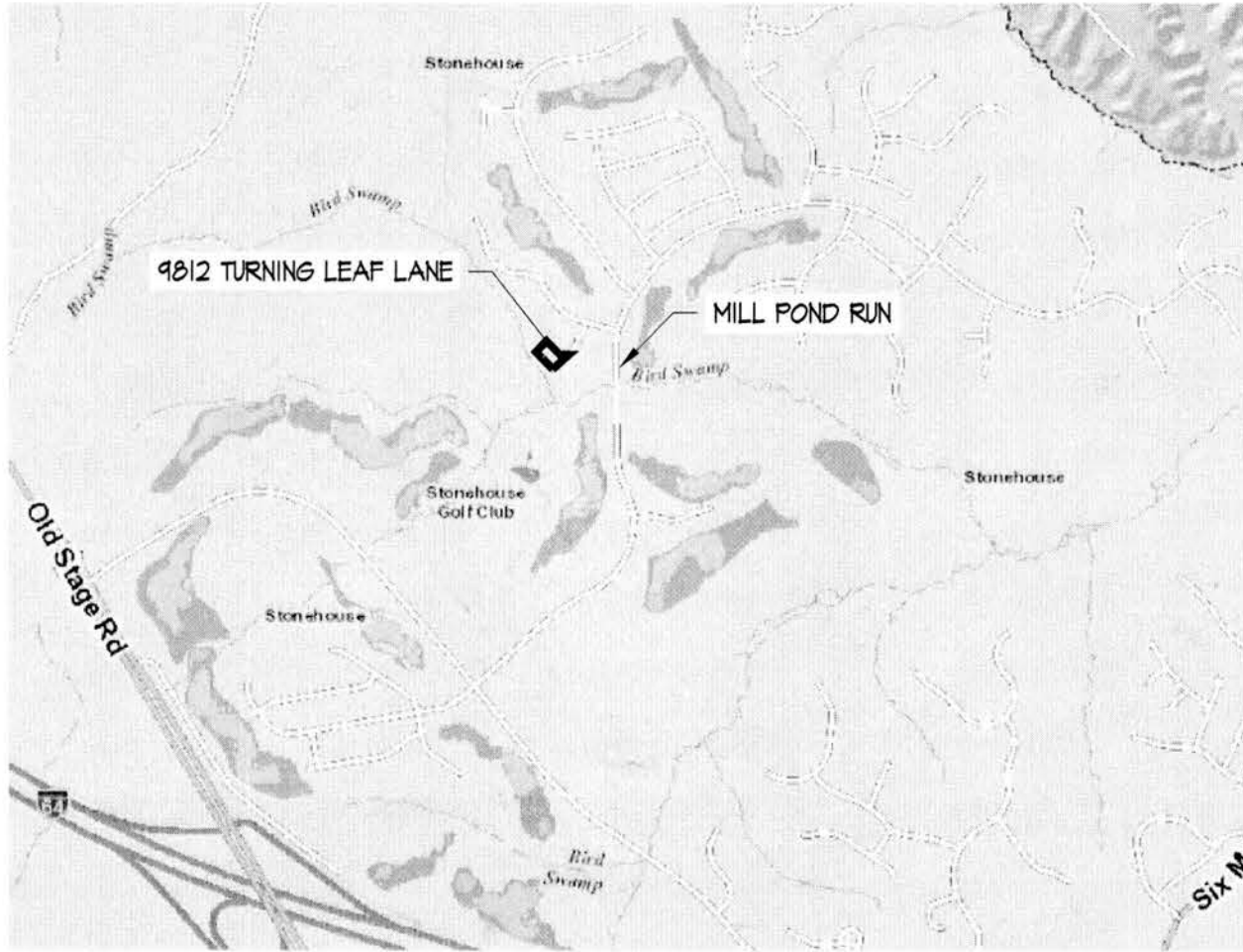
3.05



DEMOLITION PLAN

SCALE: 1/16" = 1'-0"

ABBREVIATIONS			
APPROX. BOX	APPROXIMATE BOTTOM OF WALL	NO. O.G. RM	NUMBER ON CENTER
S. DIA.	CENTERLINE DIAMETER	REINFORC. SJ	REINFORCEMENT SCAUT JOINT
EMBED. ELEV.	ELEVATION EXISTING	STA. TYP.	STATION TYPICAL
EX. HORIZ. MAX. MIN.	HORIZONTAL MAXIMUM MINIMUM	TOW. VERT. I/P. N/	TOP OF WALL VERTICAL WORKING POINT WITH



VICINITY MAP

LEGEND			
MARK	SYMBOL	CODE	DESCRIPTION
— X — X —	⊕	3.05	SILT FENCE
⊕	⊕	3.31	TEMPORARY SEEDING
⊕	⊕	3.32	PERMANENT SEEDING



KEY MAP

202514288

3 Large/Small Plate(s) Recorded
herewith as # 202514288

City of Williamsburg & County of James City
Circuit Court of James City
at 10:57 AM, PR 1 PG
Document # 202514288
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor

GENERAL NOTES, SITE PLAN & DETAILS

WORMLY RESIDENCE
RETAINING WALL
9812 TURNING LEAF LANE

51

1 of 3

VIRGINIA

Revisions

Date



Date: 8/21/2025

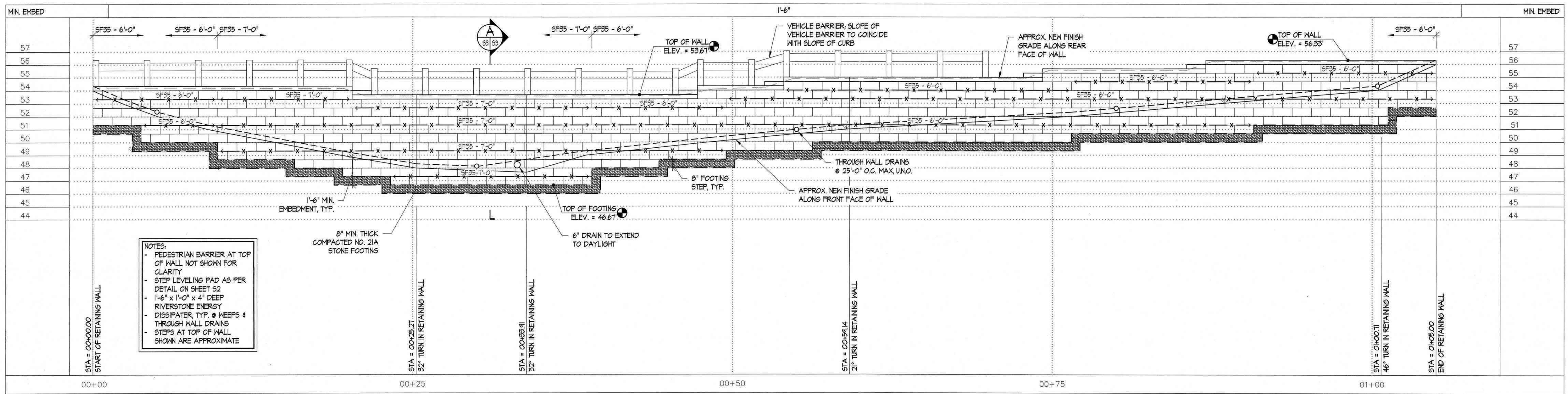
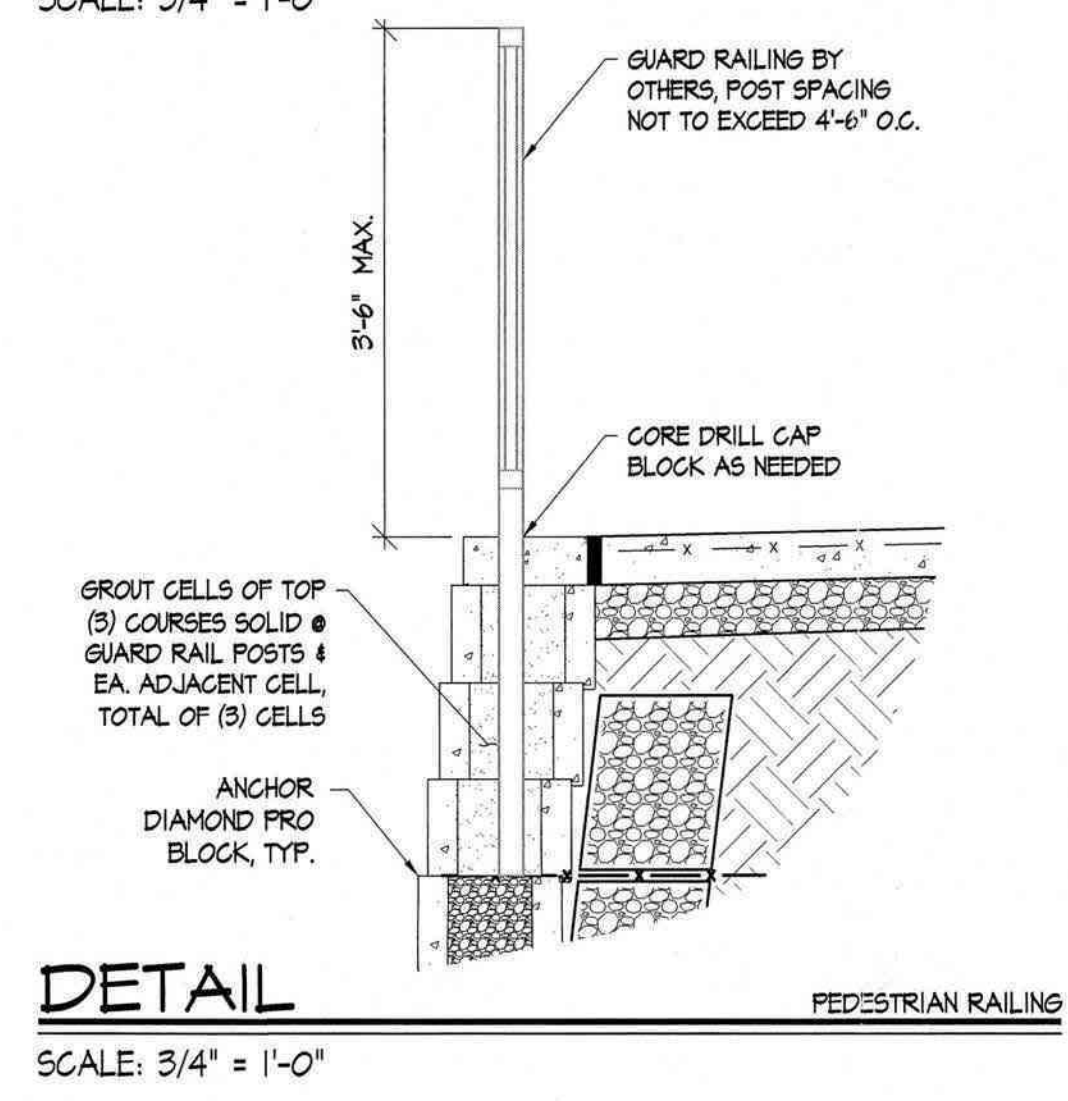
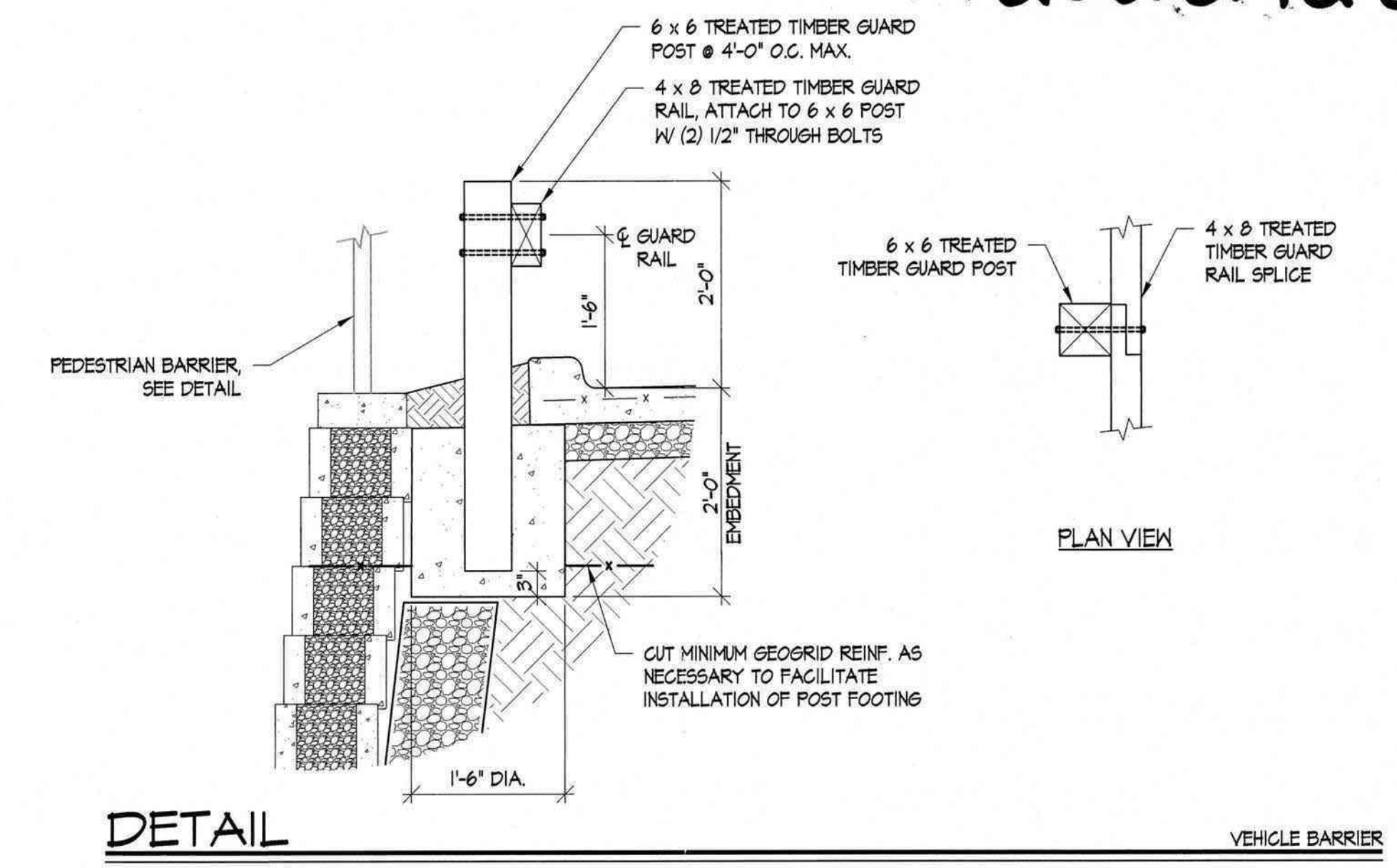
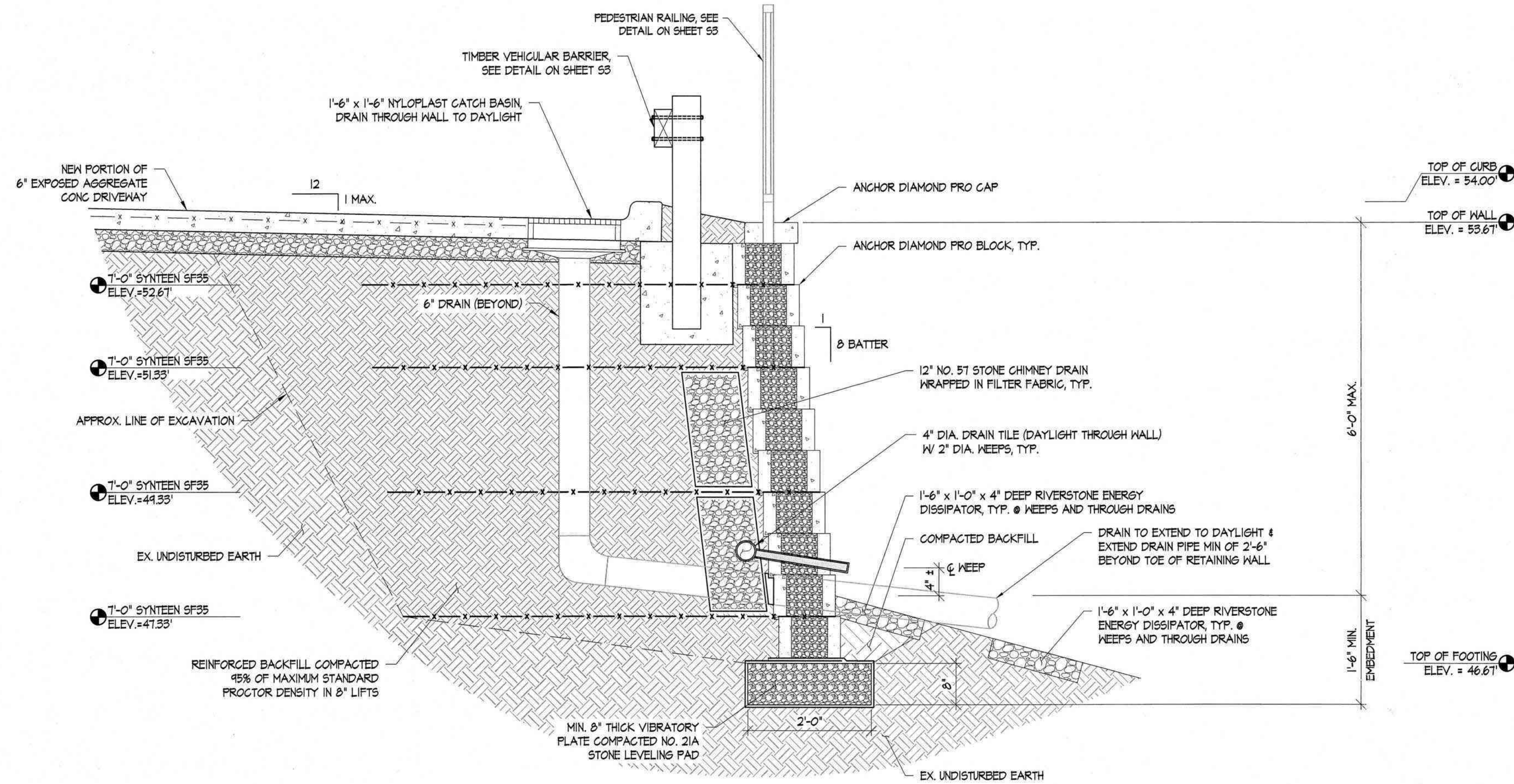
Project #: VA25086DES

Drawn by: DAS

Reviewed by: MAN

The Structures Group, Inc.
1200 Old Colony Lane • Williamsburg, VA 23185
(757)220-0465 • Fax (757)220-1546
www.thestructuresgroup.com

202514288



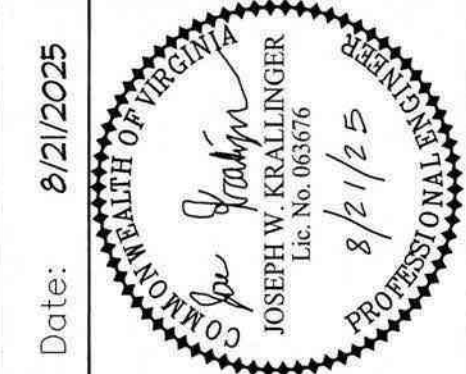
- NOTES:
- PEDESTRIAN BARRIER AT TOP OF WALL NOT SHOWN FOR CLARITY
 - STEP LEVELING PAD AS PER DETAIL ON SHEET S2
 - 1'-6" x 1'-0" x 4" DEEP RIVERSTONE ENERGY DISSIPATOR, TYP. @ KEEPS & THROUGH WALL DRAINS
 - STEPS AT TOP OF WALL SHOWN ARE APPROXIMATE

WALLY PROFILE, SECTIONS, & DETAILS

NORMLY RESIDENCE
RETAINING WALL
9812 TURNING LEAF LANE

VIRGINIA

TOANO



Project #: VA35089DES

Date: 02/12/2025

Reviewed by: MAN

Drawn by: DAS

The Structures Group, Inc.
1200 Old Colony Lane • Williamsburg, VA 23185
(757) 220-0465 • Fax (757) 220-1546
www.thestructuresgroup.com

3 (Large) Small Plat(s) Recorded
herewith as # 202514288

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
October 7, 2025
at 10:57 AM/PM, PG-
Document # 202514288
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

53

3 of 3