

EROSION & SEDIMENT CONTROL NOTES

GENERAL:

- THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
- THIS SITE IS LOCATED IN HUG 11.30 AND IS WITHIN THE JAMES RIVER-BROAD SWAMP WATERSHED.
- THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
- ELEVATIONS SHOWN ARE APPROXIMATE, AND ARE BASED ON TOPOGRAPHIC MAP PROVIDED BY THE JAMES CITY COUNTY GEOGRAPHICAL INFORMATION SYSTEM (GIS).
- THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
- A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
- ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM GARE LAWN BLEND ACCORDING TO TABLE 3.52-D OF STANDARD AND SPECIFICATION 3.52, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-1 (JTE MESH).

JAMES CITY COUNTY STANDARD STORMWATER NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED EROSION AND SEDIMENT CONTROL OR STORMWATER MANAGEMENT PLAN OF DEVELOPMENT PROJECT IN JAMES CITY COUNTY, VIRGINIA. THE COUNTY'S DIVISION OF STORMWATER AND RESOURCE PROTECTION (SRP) IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESCP) AUTHORITY AND THE LOCAL VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMF) AUTHORITY.

- ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (EASC) LAH AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS, THE VIRGINIA BEST MANAGEMENT PRACTICE (BMP) CLEARINGHOUSE WEBSITE, STATE EASC AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESCP AND VSMF AUTHORITY SHALL APPLY TO THE PROJECT.
- MINIMUM STANDARDS NUMBERS 1 THROUGH 14 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-8-40 SHALL APPLY TO THE PROJECT.
- THE OPERATOR SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VIRGINIA POLLUTANT DISCHARGE ELIMINATION SYSTEM (VPDES) PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 880; THE VSMF REGULATIONS CHAPTER 810; AND IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE VSMF, THE STATE WATER CONTROL BOARD, THE VIRGINIA DEQ, CHAPTER 8 OF THE COUNTY CODE, AND THE LOCAL VESCP/VSMF AUTHORITY.
- THE OPERATOR SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE ISSUED BY DEQ SIGNIFYING WHO IS RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY IN ACCORDANCE WITH THE APPROVED EASC PLAN. THE RLD MUST BE DESIGNATED ON THE EASC PLAN OR PERMIT AS A PREREQUISITE FOR ENGAGING IN LAND DISTURBANCE. THE RLD IS REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING FOR THE PROJECT.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCP/VSMF AUTHORITY, THE OPERATOR, THE RLD, THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES AS APPLICABLE PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OPERATOR IS REQUIRED TO COORDINATE SCHEDULING OF THE PRE-CONSTRUCTION MEETING WITH THE JAMES CITY COUNTY (JCC) SRP DIVISION.
- A POLLUTION PREVENTION PLAN (P2 PLAN), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED, AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS AS SPECIFIED IN 9VAC25-810-56. THIS PLAN SHALL BE AVAILABLE ON-SITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCP/VSMF AUTHORITY WHEN REQUESTED.
- OFF-SITE AREAS SHALL BE APPROVED BY THE LOCAL VESCP/VSMF AUTHORITY PRIOR TO LAND DISTURBING ACTIVITY AT THE SEPARATE LOCATION. OFF-SITE AREAS SHALL BE INCLUDED AS PART OF THE PROPOSED LAND DISTURBING ACTIVITY OR COVERED BY A SEPARATE APPROVED EASC PLAN.
- TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
- LOCAL VESCP/VSMF AUTHORITY WRITTEN APPROVAL SHALL BE REQUIRED PRIOR TO DEVIATIONS FROM THE APPROVED EROSION AND SEDIMENT MEASURES, SEQUENCE OF CONSTRUCTION OR STORMWATER MANAGEMENT PLAN. SIGNIFICANT DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE THE SUBMITTAL OF AN AMENDED PLAN FOR REVIEW AND APPROVAL.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
- FOR THE PURPOSES OF BOND REDUCTIONS OR RELEASES, FINAL STABILIZATION WILL BE DEFINED AS THE COMPLETION OF ALL SOIL DISTURBING ACTIVITIES AT THE SITE AND THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM (E.G., EVENLY DISTRIBUTED), MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.
- DESIGN AND CONSTRUCTION OF PRIVATE STORM DRAINAGE SYSTEMS, OUTSIDE OF ANY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE COUNTY'S STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED) GENERAL DESIGN AND CONSTRUCTION GUIDELINES.
- RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL APPLICABLE STORMWATER FACILITIES, INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY CODE AND THE VESCP/VSMF AUTHORITY.
- ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS, AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCP/VSMF AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITTEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH THE ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.
- THE FINAL PROJECT CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH THE JCC CCTV ADMINISTRATIVE GUIDELINES DEVELOPED BY THE VSMF AUTHORITY.

EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



MARK	SYMBOL	CODE	DESCRIPTION
-x-x-x-	⊗	3.05	WIRE-REINFORCED SILT FENCE
▭	⊕	3.02	CONSTRUCTION ENTRANCE

STATISTICAL INFORMATION

ZONE: RI LIMITED RESIDENTIAL
 PARCEL ID NO.: 454020001
 OWNER: HILL, C DEBRA TRUSTEE & BUCHANAN, CA
 ADDRESS: 196 THE MAINE WILLIAMSBURG, VA 231851423
 SITE DESCRIPTION: L-71 5-3 FIRST COLONY
 PROJECT AREA: 1.255 SQ. FT (0.035 ACRES)
 IMPERVIOUS COVER FOR PROJECT AREA:

	PRE-CONSTRUCTION	POST-CONSTRUCTION	NET CHANGE
GREEN AREA	1228.34 SQ. FT (41.4%)	1218.78 SQ. FT (41.1%)	-9.56 SQ. FT (0.8%)
IMPERVIOUS AREA	26.61 SQ. FT (2.1%)	36.22 SQ. FT (2.9%)	+9.61 SQ. FT (0.8%)
TOTAL AREA	1255 SQ. FT (100%)	1255 SQ. FT (100%)	0 SQ. FT (0%)

ABBREVIATIONS			
APPROX.	APPROXIMATE	NO.	NUMBER
BOIT	BOTTOM	REIN.	REINFORCEMENT
CONC.	CONCRETE	RW	RETAINING WALL
CONT.	CONTIGUOUS	REQD	REQUIRED
DIA.	DIAMETER	STA.	STATION
ELEV.	ELEVATION	TYP.	TYPICAL
EQ.	EQUAL	W	WITH
EX.	EXISTING	V.I.F	VERIFY IN FIELD
MAX.	MAXIMUM	W.F.	WELDED WIRE FABRIC
MIN.	MINIMUM		

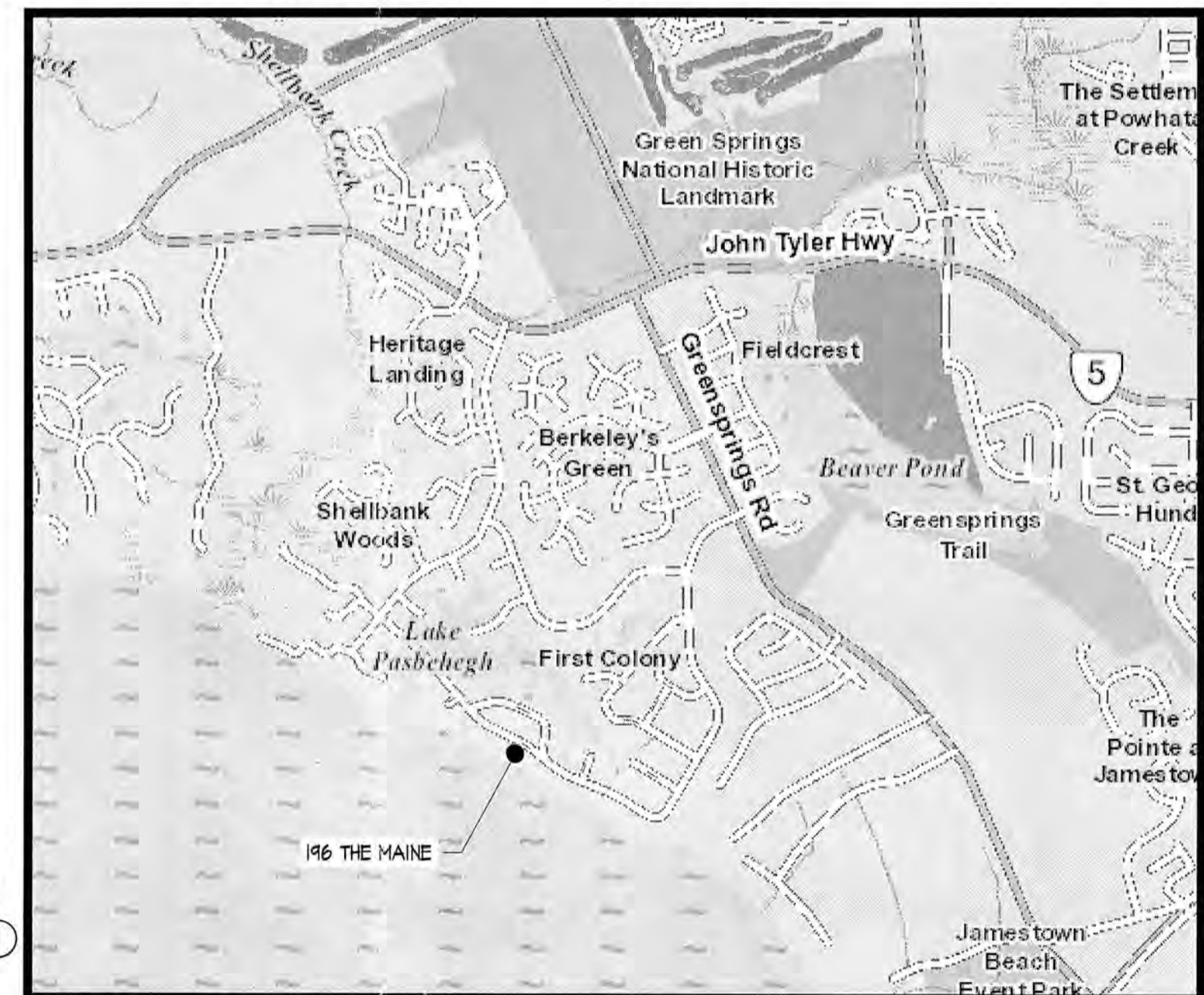
PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE REMOVAL OF AN EXISTING TIMBER RETAINING WALL AND THE CONSTRUCTION OF A NEW SEGMENTAL BLOCK RETAINING WALL.

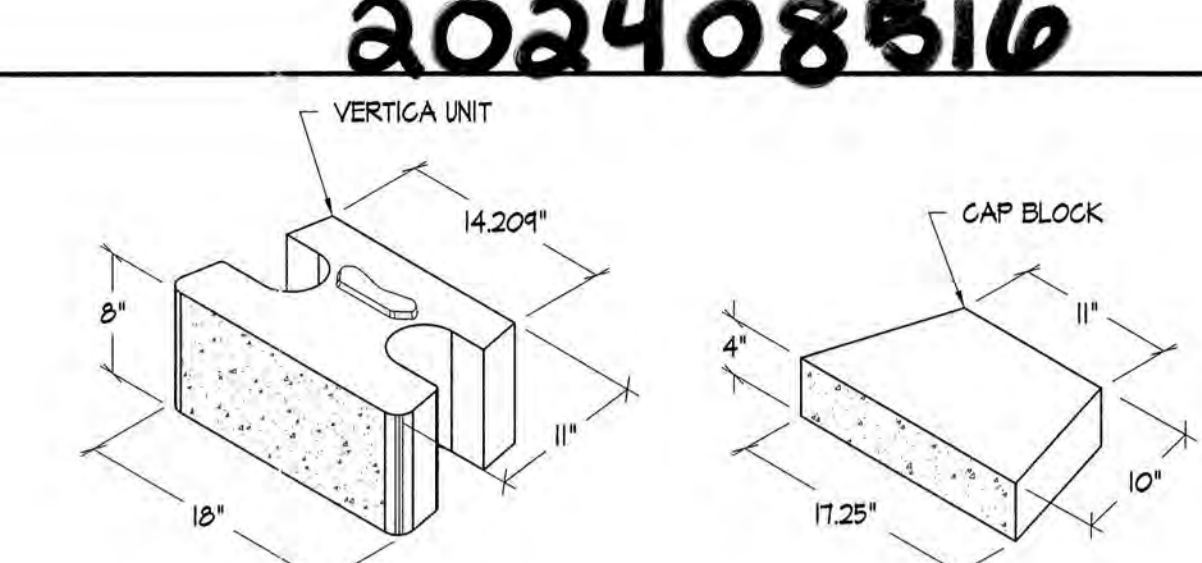
SEQUENCE OF CONSTRUCTION

- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED.
- REMOVE EXISTING TIMBER RETAINING WALL, EXISTING VEGETATION, EXISTING EVERGREEN TREE, AND PORTION OF EXISTING CONCRETE PATIO AS INDICATED ON PLANS.
- CONSTRUCT SEGMENTAL BLOCK RETAINING WALLS & GEO-GRID REINFORCING, BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS
- STABILIZE ALL RE-GRADED AND DENUDED EARTH IN ACCORDANCE WITH GENERAL NOTE NO. 10 ON SHEET 51.
- CONSTRUCT PEDESTRIAN BARRIER/FENCING.
- REMOVE SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.

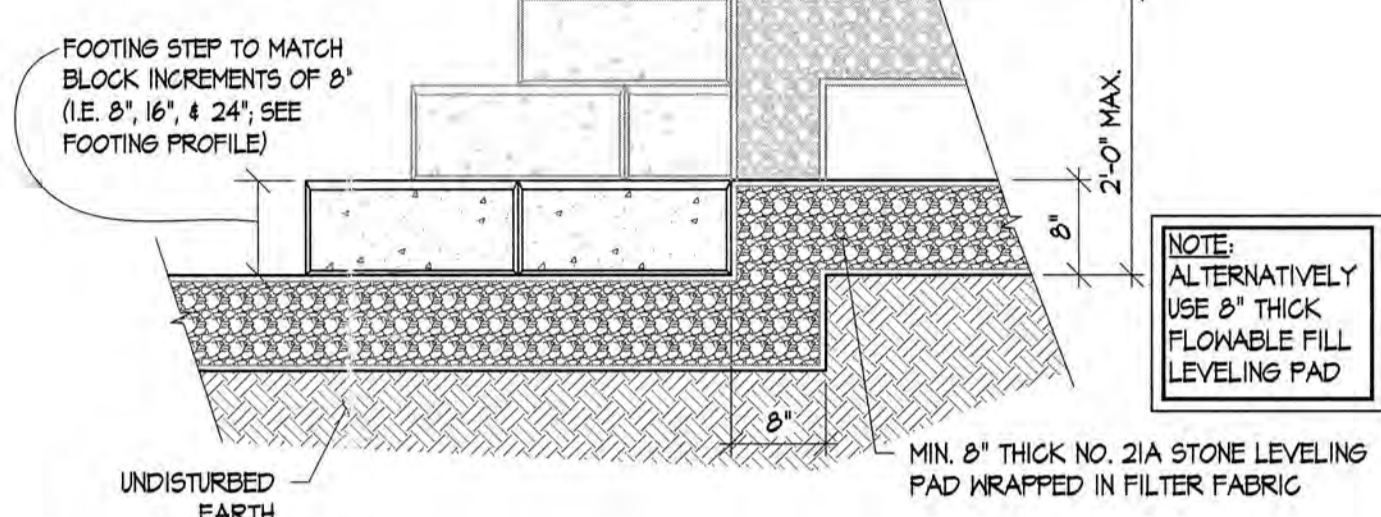
City of Williamsburg & County of James City
 Circuit Court: This PLAT was recorded on
 JUNE 26, 2024
 at 9:31 AM, PB - PG -
 Document # 202408516
 ELIZABETH E. O'CONNOR, CLERK
 Elizabeth E. O'Connor, Clerk



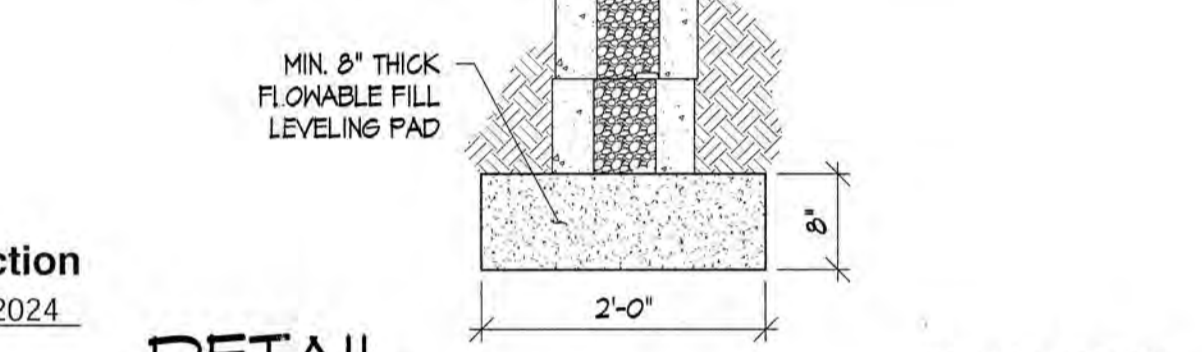
VICINITY MAP
 SCALE: 1/2" = 300'
 0 150 300 600



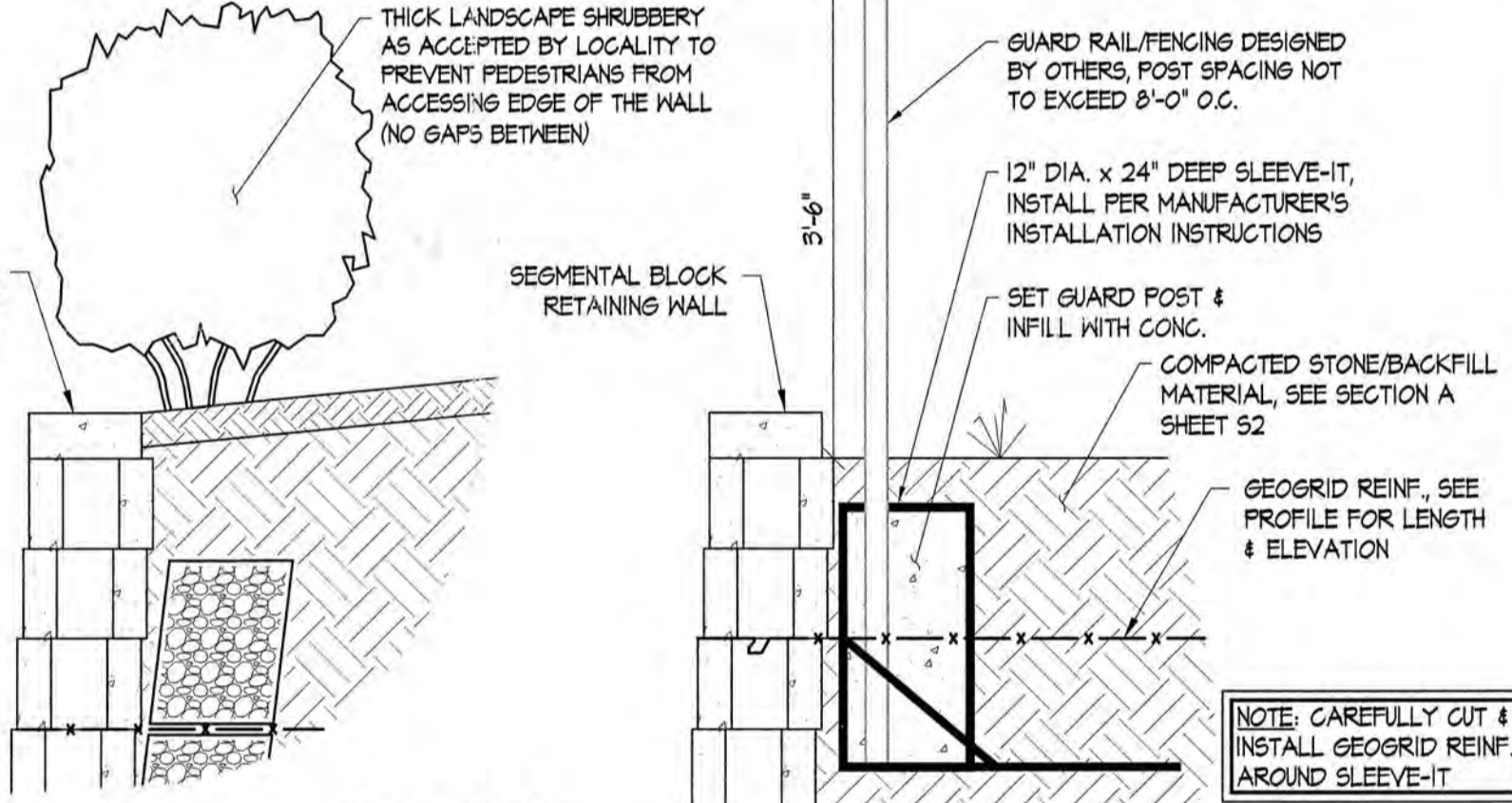
DETAIL
 SCALE: NONE
 TYPICAL VERTICAL UNITS



DETAIL
 SCALE: 3/4" = 1'-0"
 TYPICAL FOOTING STEP



DETAIL
 SCALE: 3/4" = 1'-0"
 ALTERNATE FOOTING



DETAIL
 SCALE: 3/4" = 1'-0"
 PEDESTRIAN BARRIER

Sheet: 51 of 3

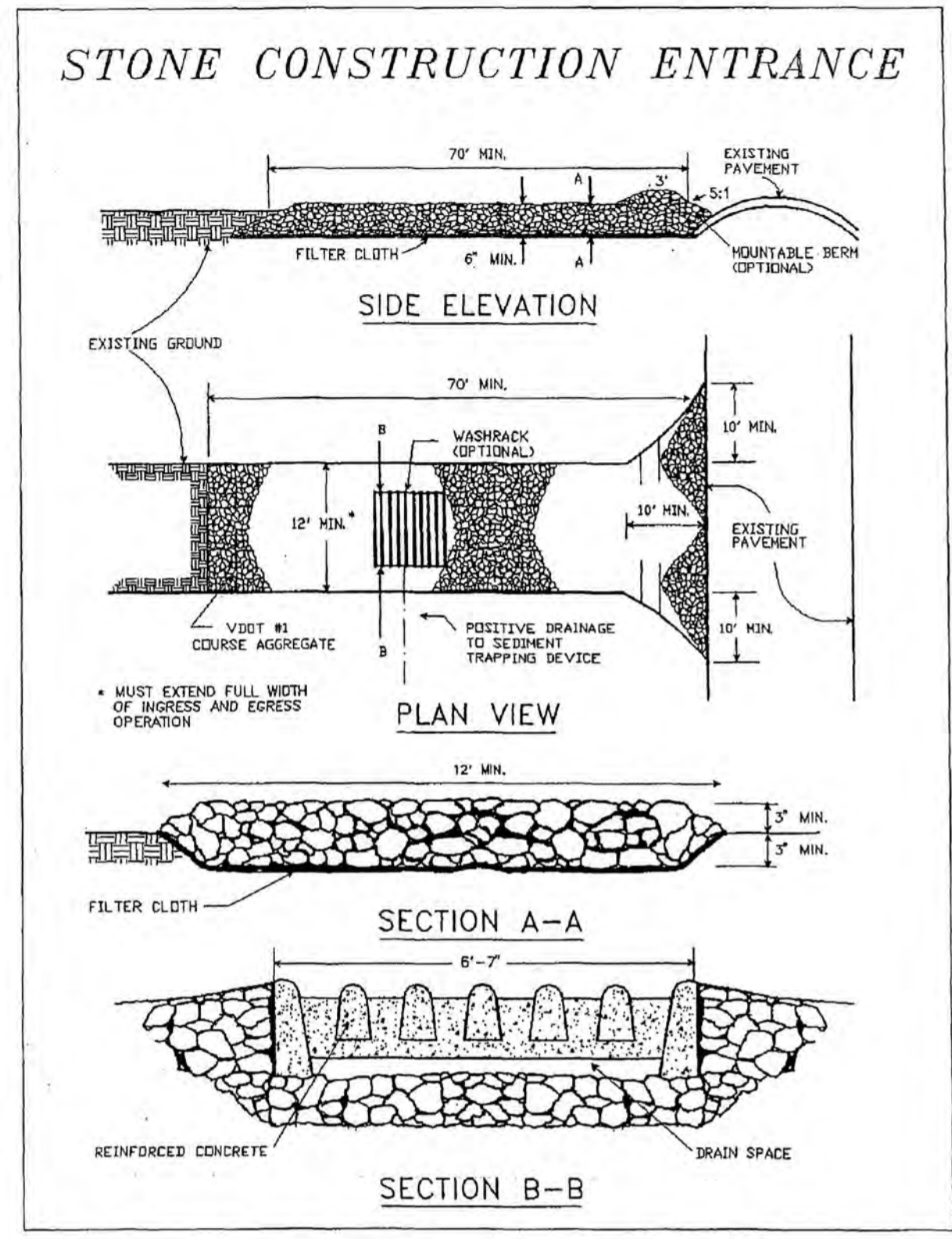
Project #: VA24004DES
 Date: 3/29/24
 Drawn by: DAS
 Reviewed by: MAM

JCC Stormwater & Resource Protection Comments
 4/15/24
 Revisions: No.

EROSION & SEDIMENT CONTROL NOTES, EXISTING SITE PLAN, PROJECT DESCRIPTION, STATISTICAL INFORMATION, TYPICAL DETAILS, & VICINITY MAP

RETAINING WALL
 HILL RESIDENCE
 196 THE MAINE
 WILLIAMSBURG
 VIRGINIA

The Structures Group, Inc.
 1200 Old Colony Lane • Williamsburg, VA 23186
 (757)250-0465 • Fax (757)250-1546
 www.thestructuresgroup.com

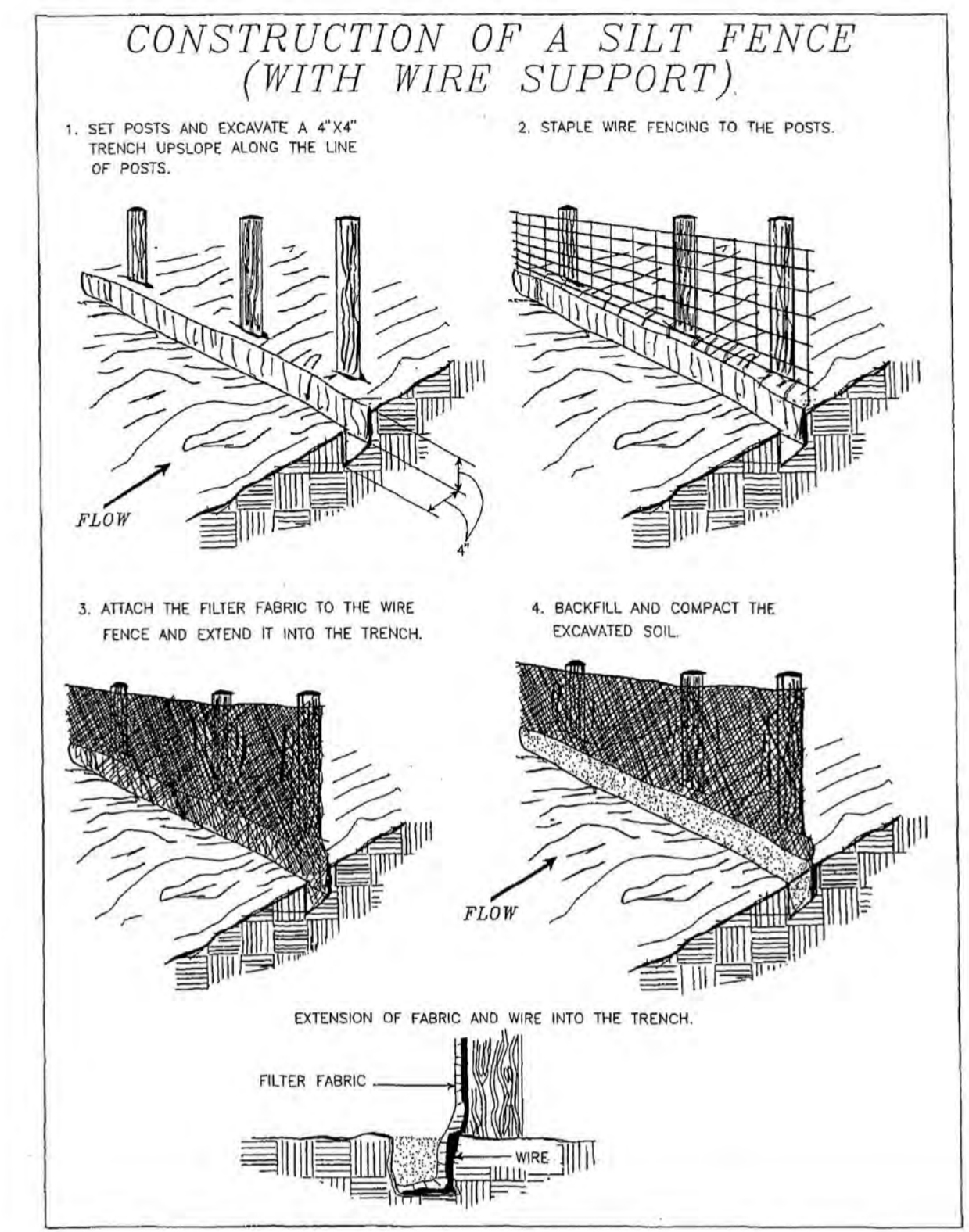


Source: Adapted from 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

III - 9

DETAIL CONSTRUCTION ENTRANCE
SCALE: NTS VESCH 3.02

NOTES:
- LOCATIONS OF EROSION & SEDIMENT CONTROL MEASURES ARE DENOTED ON SHEETS S1 & S3
- EROSION & SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE SITE IS STABILIZED AND UPON WRITTEN PERMISSION FROM THE CITY OF WILLIAMSBURG INSPECTOR



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant Plate 3.05-1

III - 24

DETAIL SILT FENCE W/ WIRE SUPPORT
SCALE: NTS VESCH 3.05

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA

	Total Lbs. Per Acre
Minimum Care Lawn	
- Commercial or Residential	
- Kentucky 31 or Turf-Type Tall Fescue	175-200 lbs.
or	
- Common Bermudagrass **	75 lbs.
High-Maintenance Lawn	
- Kentucky 31 or Turf-Type Tall Fescue	200-250 lbs.
or	
- Hybrid Bermudagrass (seed) **	40 lbs. (unhulled) 30 lbs. (hulled)
or	
- Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34)	
General Slope (3:1 or less)	
- Kentucky 31 Fescue	128 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs. 150 lbs.
Low Maintenance Slope (Steeper than 3:1)	
- Kentucky 31 Tall Fescue	93-108 lbs.
- Common Bermudagrass **	0-15 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs. 20 lbs. 150 lbs.
- Sericea Lespedeza **	

* Use seasonal nurse crop in accordance with seeding dates as stated below:
February, March through April Annual Rye
May 1st through August Foxtail Millet
September, October through November 15th Annual Rye
November 16th through January Winter Rye

** May through October, use hulled seed. All other seeding periods, use unhulled seed. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

III - 304

DETAIL TEMPORARY/PERMANENT SEEDING
SCALE: NTS VESCH 3.32

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
June 23, 2024
at 9:31 AM in PG
Document # 202408516
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

3 Large Small Plat(s) Recorded
herewith as # 202408516

Sheet 52

2 of 3

RETAINING WALL
HILL RESIDENCE
196 THE MAINE

WILLIAMSBURG VIRGINIA

JCC Stormwater & Resource
Protection Comments

1 No.

4/15/24 Date

3/29/24 Date

Project #: VA24004DES

Drawn by: DAS

Reviewed by: MAM

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www.thestructuresgroup.com

Professional Seal: JOSEPH W. KRALLINGER, Lic. No. 063676, 3/21/24

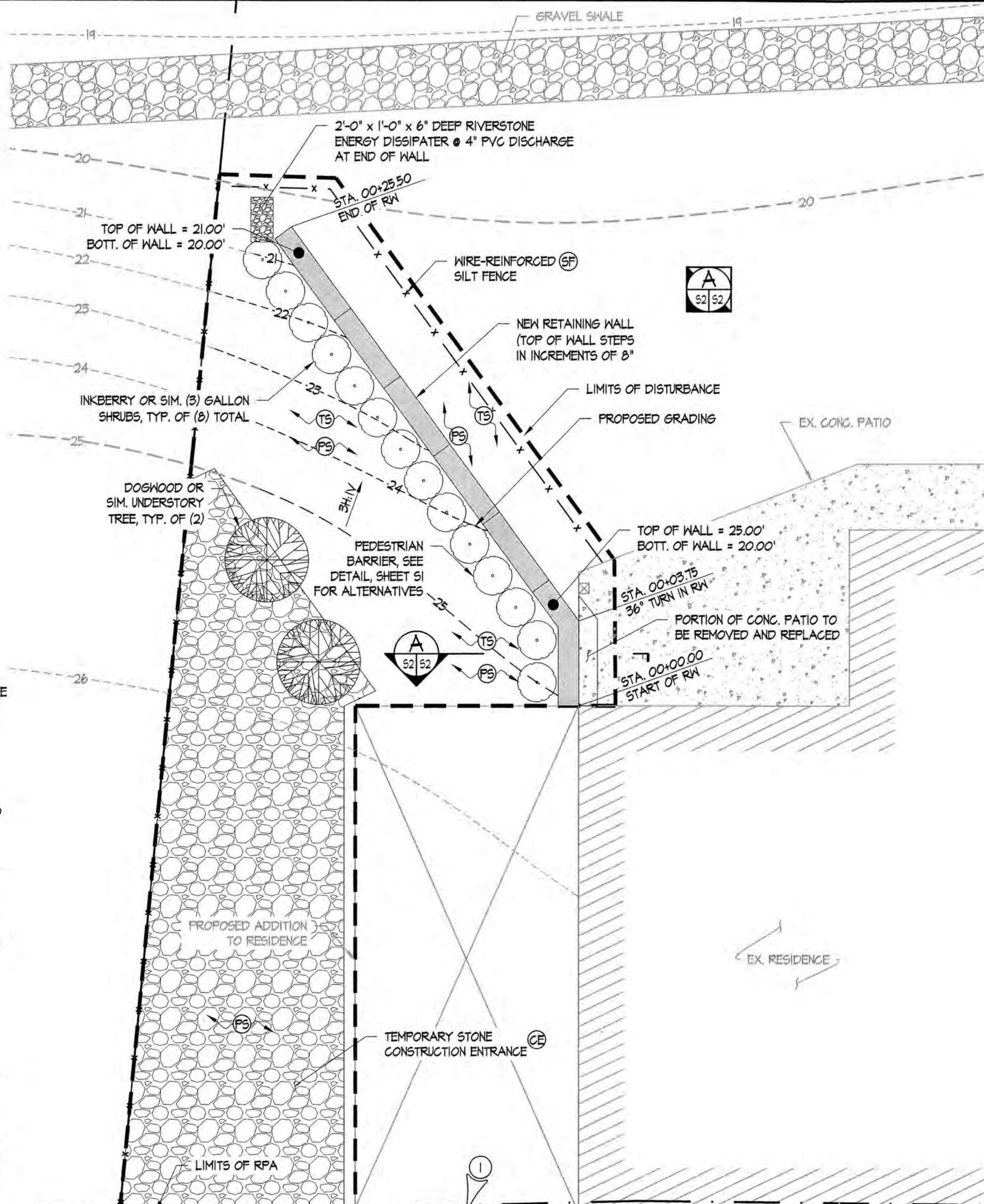
GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - THE VIRGINIA UNIFORM BUILDING CODE (VUBC), 2018 EDITION
 - THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION AS AMENDED BY THE VUBC.
 - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- DESIGN LOADS:

A. BUILDING CLASSIFICATION CATEGORY	
B. GROUND SNOW, P _g	15 PSF
C. ULTIMATE WIND SPEED, V	114 MPH
D. SOIL UNIT WEIGHT	120 PCF
E. LIVE LOADS:	
LANDSCAPE & MAINTENANCE GUARD ASSEMBLY	UNIFORM 50 PSF CONCENTRATED 200LB
- SEISMIC DESIGN:

SEISMIC IMPORTANCE FACTOR, I	1.0
MAPPED SPECTRAL RESPONSE ACCELERATION S _s	0.118
MAPPED SPECTRAL RESPONSE ACCELERATION S ₁	0.044
SITE SOIL CLASS	E
SPECTRAL COEFFICIENT, S _{ds}	0.14
SPECTRAL COEFFICIENT, S _{1d}	0.125
SEISMIC DESIGN CATEGORY	D
BASIC STRUCTURAL SYSTEM	SEGMENTAL BLOCK RETAINING WALL
- THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY OF VIRGINIA" PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR COSTS ASSOCIATED WITH DAMAGE AND REPAIR OF ANY LINES MARKED BY MISS UTILITY OF VIRGINIA.
- PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED TO RESIST SOIL PRESSURE AND OTHER LOADS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS, SPRINKLERS, TREES AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COSTS TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

- LEVELING PAD:**
- LEVELING PAD FOR SEGMENTAL BLOCK RETAINING WALLS SHALL BE A MINIMUM OF 8" THICK COMPACTED NO. 21A CRUSHED STONE WRAPPED IN FILTER CLOTH. ALTERNATELY, 8" THICK 950 PSI FLOWABLE FILL MAY BE UTILIZED FOR THE LEVELING PAD.
 - ALL FLOWABLE FILL SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
 - ALL FLOWABLE FILL SHALL HAVE A SLUMP OF 7" ± 1" UNLESS NOTED OTHERWISE.
 - ALL FLOWABLE FILL TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 11 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
 - ALL FLOWABLE FILL TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 12 OF ACI 306R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.
- RETAINING WALL:**
- ELEVATIONS SHOWN ARE APPROXIMATE AND BASED ON TOPOGRAPHIC SURVEY PROVIDED BY JAMES CITY COUNTY GIS. CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD.
 - ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALL, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALL, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD.
 - EXISTING SITE SOILS ARE PEANICK SILT LOAM WITH MODERATE POTENTIAL BASED ON A SHRINK-SWELL SOIL EVALUATION REPORT FROM EGS MID-ATLANTIC, LCC, DATED AUGUST 30, 2023.
 - LEVELING PAD WAS DESIGNED TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE AND A MINIMUM OF 2'-0" BELOW THE EXISTING GRADE UNLESS NOTED OTHERWISE WITH A MINIMUM SOIL BEARING PRESSURE OF 1500 PSF UNLESS NOTED OTHERWISE.
 - BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL SM OR BETTER, UNLESS NOTED TO BE STONE. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 25 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE SM OR BETTER WITH MINIMUM FRICTION ANGLE OF 30 DEGREES.
 - CHIMNEY DRAIN ADJACENT TO MODULAR WALL UNITS AND MATERIAL USED TO FILL MODULAR WALL UNITS SHALL BE VIBRATORY PLATE COMPACTED NO. 51 STONE, OR A WELL GRADED COMPACTIBLE NO. 21A STONE, 1/4" TO 1 1/2" DIAMETER WITH NO MORE THAN 10% PASSING THE #200 SIEVE.
 - PLACE A 4" DIAMETER PERFORATED PVC DRAIN PIPE WRAPPED IN FILTER CLOTH ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALL. PROVIDE DRAINAGE TO DAYLIGHT.
 - ALL GEOGRID REINFORCEMENT TO BE MIRAGRID 3XT SERIES MANUFACTURED BY TENKATE GEOSYNTHETICS. LENGTH OF GEOGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOGRID SHALL BE PULLED TAUGHT PRIOR TO INFILLING BACKFILL.
 - SEGMENTAL RETAINING WALL UNITS SHALL BE VERTICA MANUFACTURED BY ANCHOR WALL SYSTEMS, LLC.
 - CONTRACTOR SHALL FOLLOW INSTRUCTIONS PROVIDED BY BLOCK MANUFACTURER REGARDING THE CONSTRUCTION OF THE MODULAR CONCRETE UNIT WALLS. ANY INSTRUCTIONS THAT DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
 - PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE. GUARD RAILING, FENCING, AND/OR LANDSCAPE SHRUBBERY SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE.
 - RETAINING WALL MINIMUM DESIGN SAFETY FACTORS:
 - OVERTURNING - 2.0
 - SLIDING - 1.5
 - GLOBAL STABILITY - 1.3

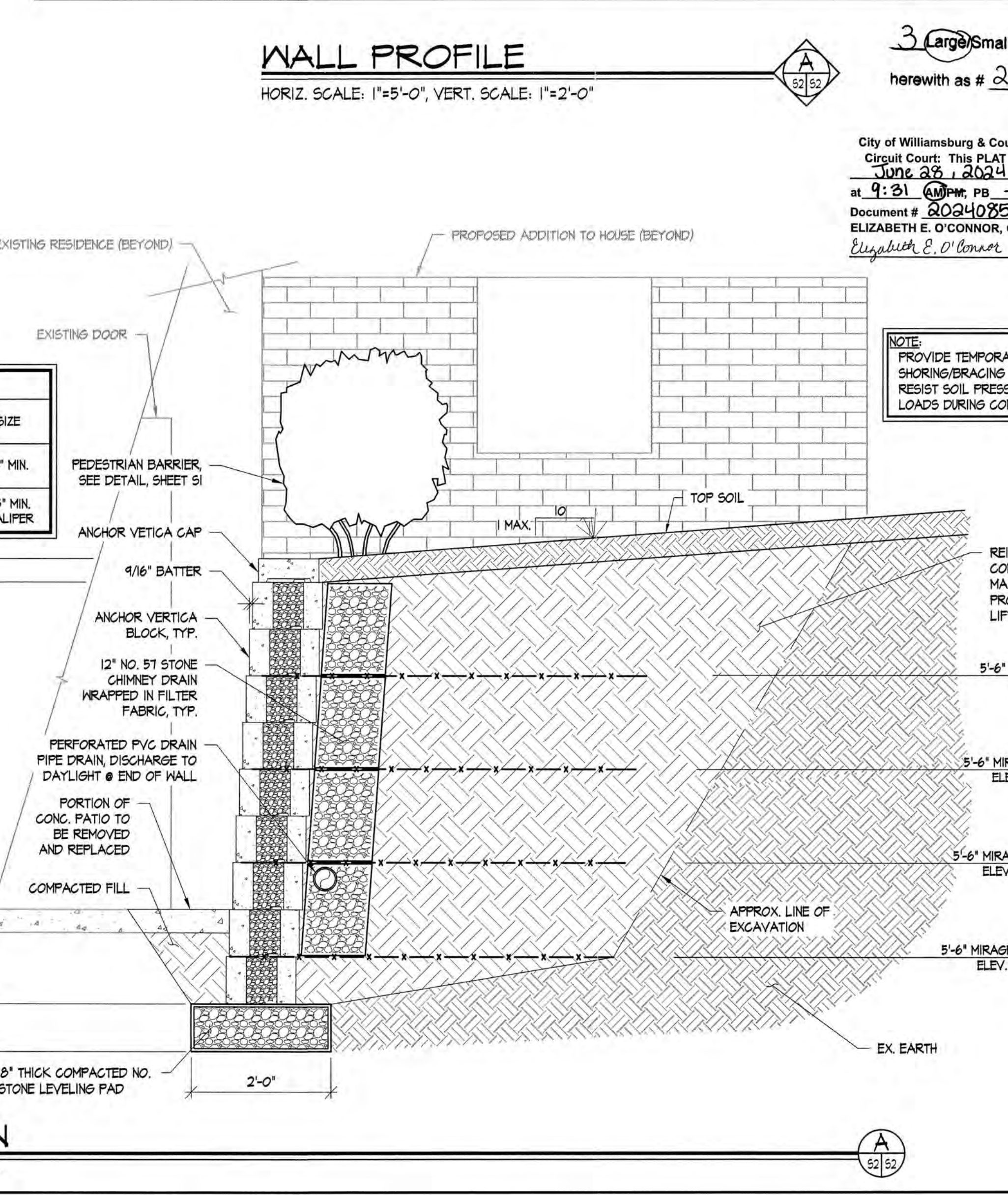
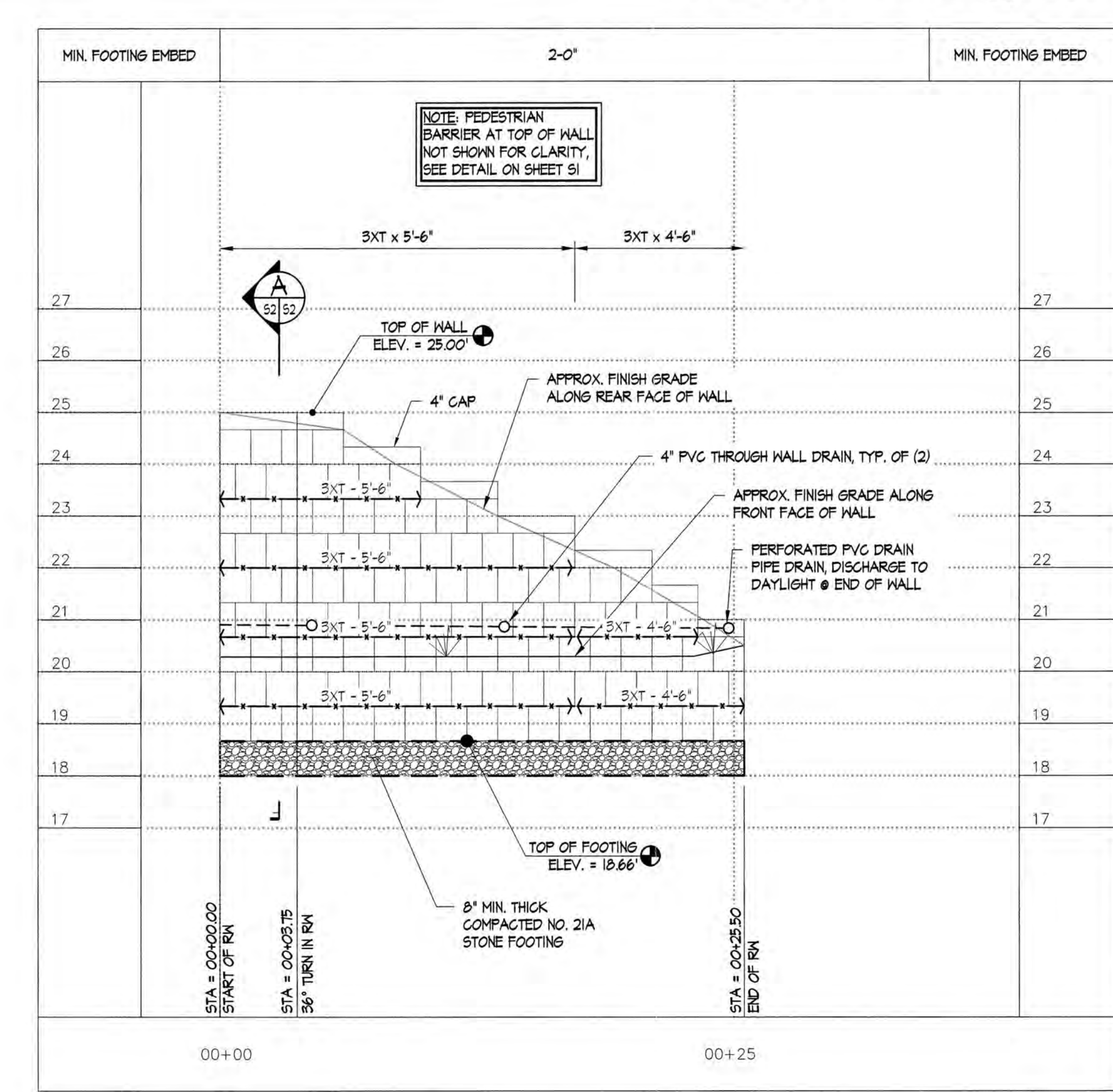
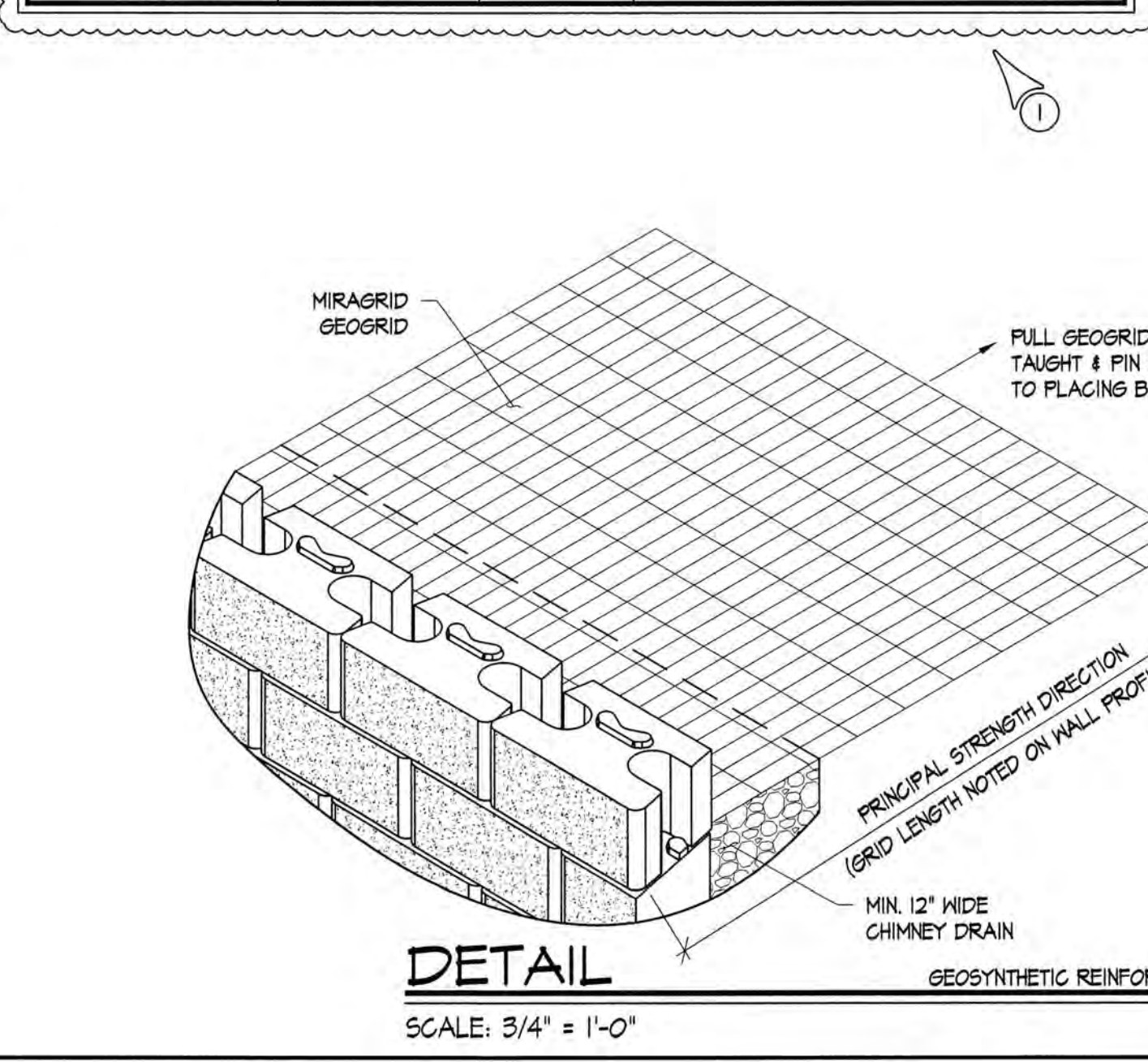
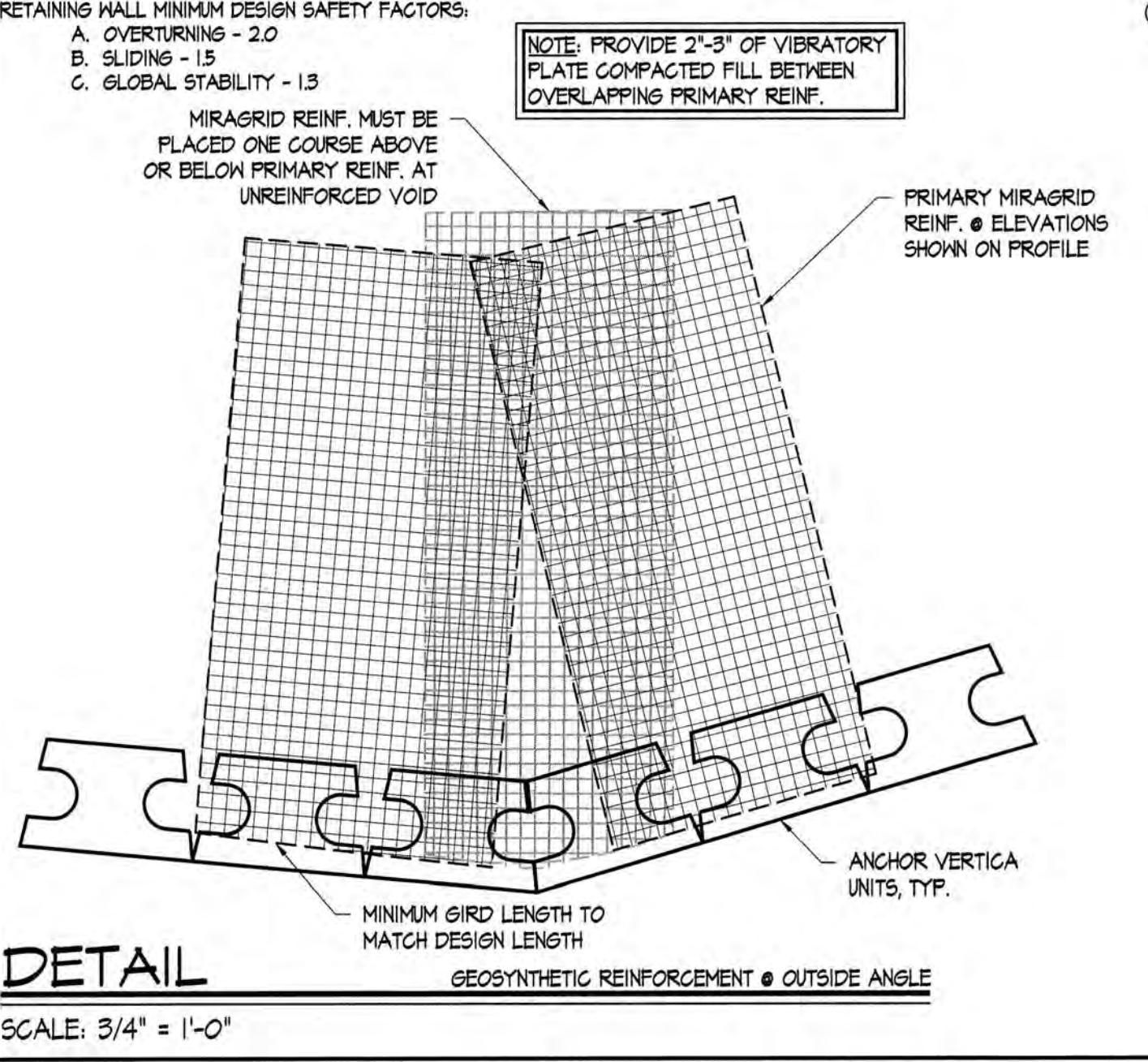


LEGEND

MARK	SYMBOL	CODE	DESCRIPTION
-x-x-	SP	3.05	WIRE-REINFORCED SILT FENCE
CE	CE	3.02	CONSTRUCTION ENTRANCE
TS	TS	3.31	TEMPORARY SEEDING
PS	PS	3.32	PERMANENT SEEDING

PLANT SCHEDULE

QUANTITY REQ'D	QUANTITY PROVIDED	SCIENTIFIC NAME	COMMON NAME	SIZE
8	14	ILEX GLABRA	INKBERRY SHRUB	18" MIN.
2	2	CORNUS FLORIDA	DOGWOOD TREE	1.5" MIN. CALIPER



3 Large/Small Plat(s) Recorded
herewith as # **202408516**

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
June 26, 2024
at **9:31 AM**, PB - PG -
Document # **202408516**
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

Project #: VA24004DE5
Date: 3/29/24
Reviewed by: MAM
Drawn by: DAS

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(757)220-0465 • Fax (757)220-1546
www.thestructuresgroup.com

Professional Seal: JOSEPH W. KRALLINGER, License No. 063676, dated 3/29/24

JCC Stormwater & Resource Protection Comments
Date: 4/15/24
Revisions: 1

RETAINING WALL HILL RESIDENCE 196 THE MAINE
WILLIAMSBURG VIRGINIA

Sheet **53** of 3