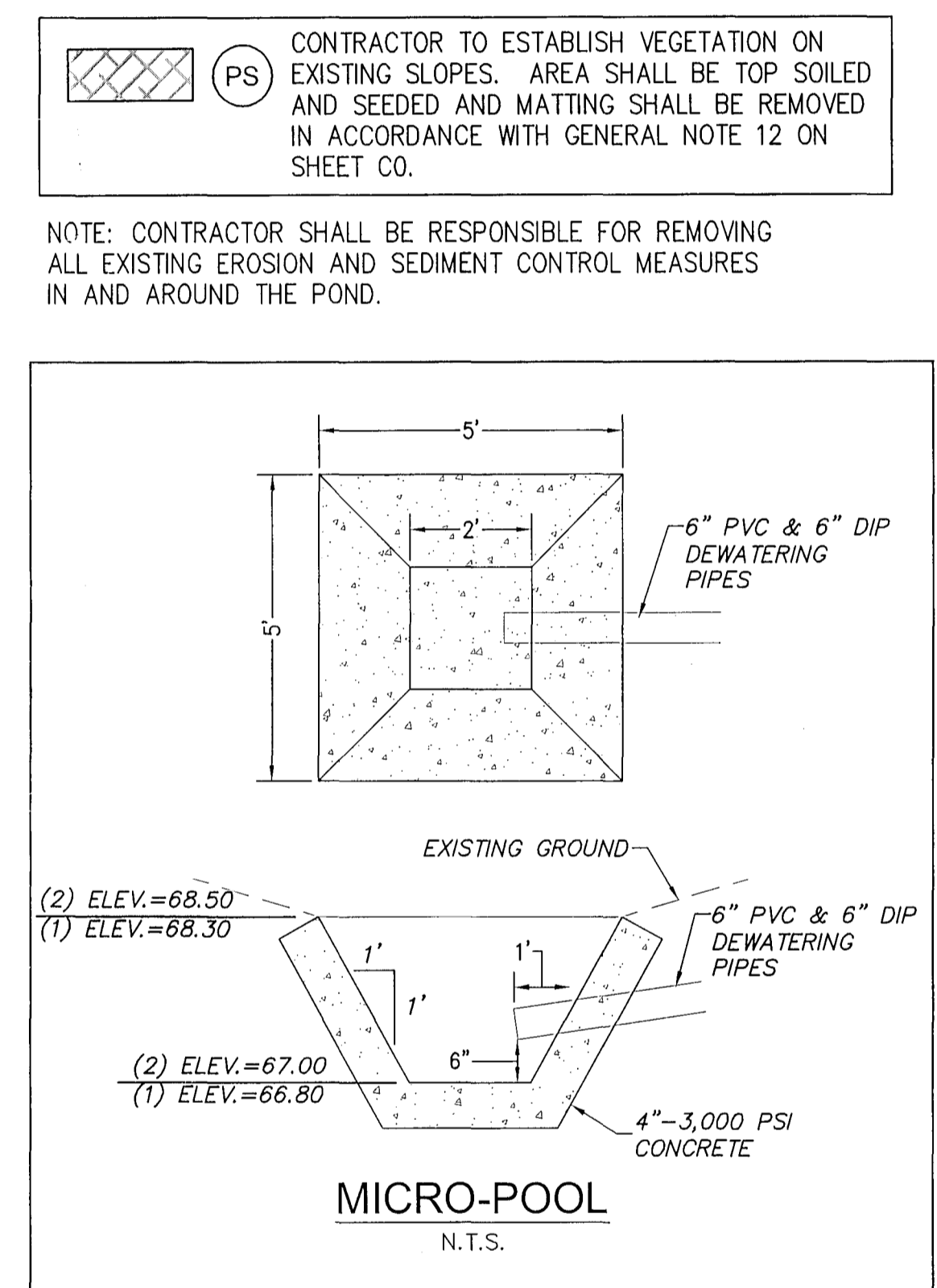
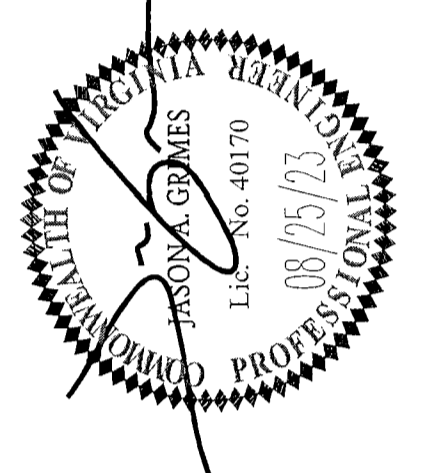


- GENERAL REPAIR NOTES:**
- INSTALL/REPAIR SILT FENCE DOWNSTREAM OF ANY LAND DISTURBANCE.
  - REMOVE ALL VOLUNTEER VEGETATION ON THE DAM EMBANKMENT, WITHIN 10' DIAMETER OF ANY INFLOW AND OUTFLOW STRUCTURES, AND LOCATED ALONG THE LENGTH OF THE RETAINING WALL, REGRADE AND APPLY PERMANENT SEEDING AS NECESSARY TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GENERAL NOTE 12 ON SHEET C0.
  - POND SHOULD BE DEWATERED IN ACCORDANCE WITH THE VESCH STANDARD (3.26).
  - REMOVE ANY ACCUMULATED SEDIMENT, TRASH, OR DEBRIS FROM BOTTOM ON POND AND REESTABLISH BOTTOM ELEVATION AT 64.0±.
  - CONTRACTOR TO REMOVE ALL EXISTING 4 FT DECORATIVE FENCE AND REPLACE WITH 6 FT FENCE AS NOTED ON SHEET S1.
  - ONCE SITE IS STABILIZED, REMOVE ANY SILT FENCE FROM THE SITE INCLUDING NEWLY INSTALLED AND SILT FENCE INSTALLED WITH ORIGINAL CONSTRUCTION.
  - CONTRACTOR TO REMOVE FILTER FABRIC FROM PRINCIPAL SPILLWAY.
  - NO EXTERIOR LIGHTING OR SIGNS ARE PROPOSED.
  - NO TEMPORARY OR PERMANENT SOIL STOCKPILES ARE PROPOSED. ALL EXCESS FILL & EXCESS MATERIAL TO BE HAULED OFFSITE.
  - AREAS OF 2:1 OR STEEPER SLOPES MUST BE STABILIZED WITH EC-2 MATTING.



Rev	Date	Description
1	08/12/2023	REVISION PER JCC COMMENTS DATED 02/20/23
2	08/25/2023	REVISION PER JCC COMMENTS DATED 02/20/23



**AES**  
CONSULTING ENGINEERS  
Hampton Roads | Central Virginia | Middle Peninsula

5248 Old Towne Road, Suite 1  
Williamsburg, Virginia 23188  
Phone: (757) 525-8840  
www.aesva.com

BMP REMEDIATION PLAN  
**SETTLERS MARKET**  
NEW TOWN SECTION 9

BERKELEY DISTRICT | JAMES CITY COUNTY | VIRGINIA

Project Contacts: JAG  
Project Number: 6632-S9-03  
Scale: 1"=30' Date: 02/14/2023  
Sheet Title: BMP #A04, WALLS A, B, & C  
Sheet Number: C2

10 Large/Small Plat(s) Recorded  
herewith as # 202313341

City of Williamsburg & County of James City  
Circuit Court: This PLAT was recorded on  
Dec 13, 2023  
at 9:11 AM PM, PB PG  
Document # 202313341  
ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk

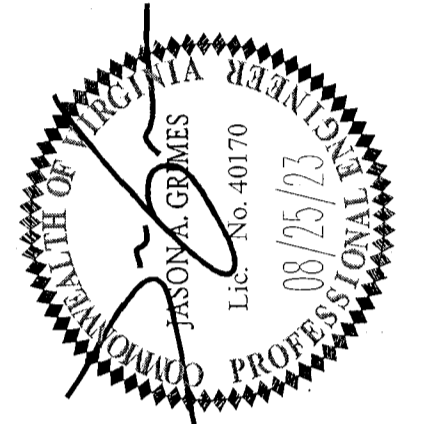
GRAPHIC SCALE  
30' 0' 30' 60'  
SCALE: 1" = 30'

REPAIRS PER JCC COMMENT  
LETTER DATED 8/1/22  
REF: JCC SP-74-06  
BMP PC-258 RECORD DRAWING - 8/14/08



202313341

Rev	Date	Description
1	08/12/2023	REVISION PER JCC COMMENTS DATED 02/02/23
2	08/25/2023	REVISION OF STORMWATER STRUCTURES



5248 Old Town Road, Suite 1  
Williamsburg, Virginia 23188  
Phone: (757) 252-5840  
www.aes.com

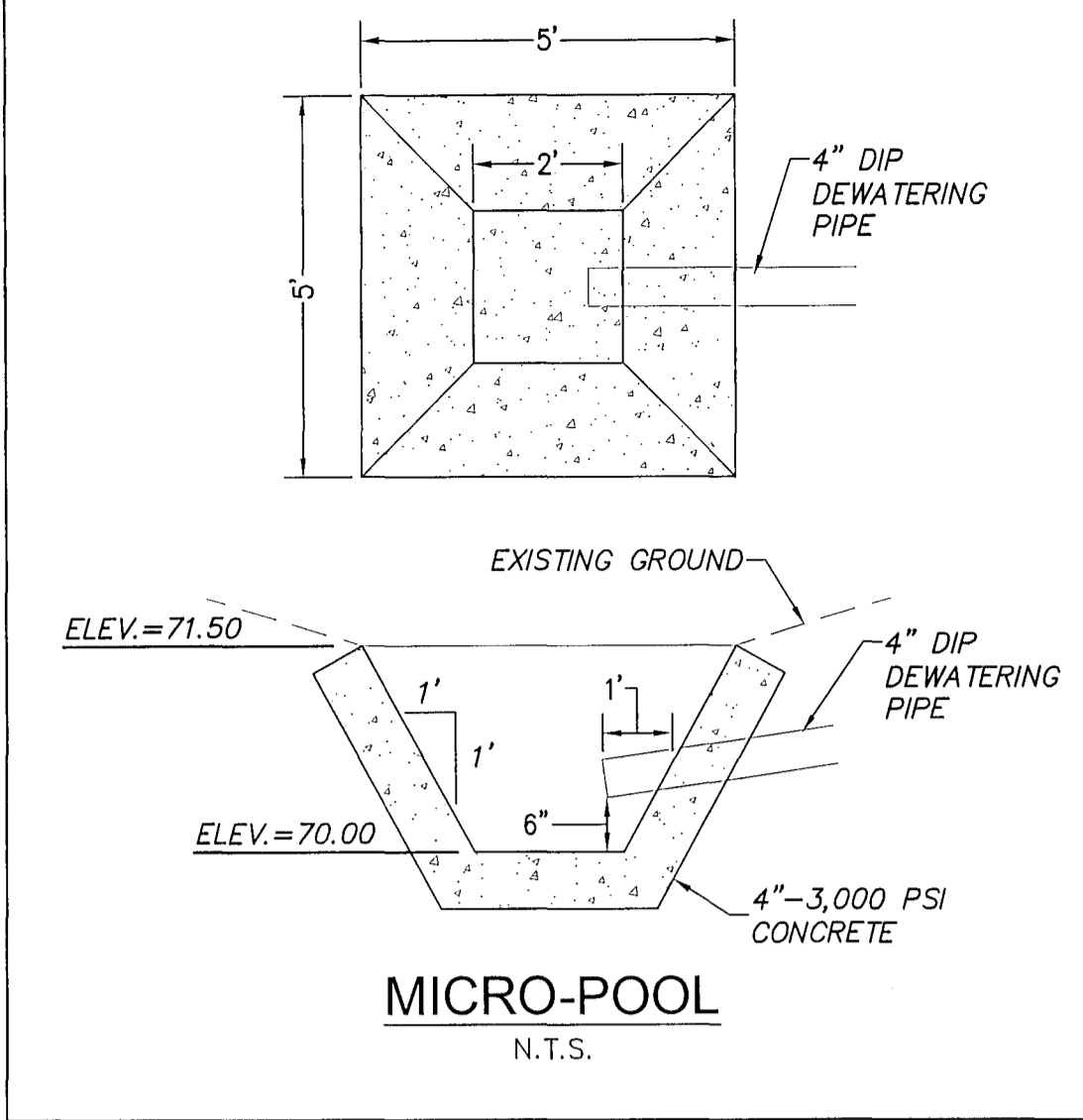
**AES**  
CONSULTING ENGINEERS  
Hampton Roads | Central Virginia | Middle Peninsula

BMP REMEDIATION PLAN  
SETTLERS MARKET  
NEW TOWN SECTION 9  
BERKELEY DISTRICT | JAMES CITY COUNTY | VIRGINIA

Project Contacts:	JAG
Project Number:	6632-S9-03
Scale:	Date:
1"=30'	02/14/2023
Sheet Title:	BMP #A06, WALL D
Sheet Number:	C3

**LEGEND:**  
 REPRESENTS ACTION ITEM ADDRESSED IN RELATION TO LINE ITEM NO. DENOTED IN JCC SRP LETTER DATED 8/1/2022

- GENERAL REPAIR NOTES:**
- INSTALL/REPAIR SILT FENCE DOWNSTREAM OF ANY LAND DISTURBANCE.
  - REMOVE ALL VOLUNTEER VEGETATION ON THE DAM EMBANKMENT, WITHIN 10' DIAMETER OF ANY INFLOW AND OUTFLOW STRUCTURES, AND LOCATED ALONG THE LENGTH OF THE RETAINING WALL, REGRADE AND APPLY PERMANENT SEEDING AS NECESSARY TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GENERAL NOTE 12 ON SHEET CO.
  - POND SHOULD BE DEWATERED IN ACCORDANCE WITH THE VESCH STANDARD (3.26).
  - REMOVE ANY ACCUMULATED SEDIMENT, TRASH, OR DEBRIS FROM BOTTOM ON POND AND REESTABLISH BOTTOM ELEVATION AT 74.0±.
  - CONTRACTOR TO REMOVE ALL EXISTING 4 FT DECORATIVE FENCE AND REPLACE WITH 6 FT FENCE AS NOTED ON SHEET S1.
  - ONCE SITE IS STABILIZED, REMOVE ANY SILT FENCE FROM THE SITE INCLUDING NEWLY INSTALLED AND SILT FENCE INSTALLED WITH ORIGINAL CONSTRUCTION.
  - CONTRACTOR TO REMOVE FILTER FABRIC FROM PRINCIPAL SPILLWAY.
  - NO EXTERIOR LIGHTING OR SIGNS PROPOSED.
  - NO TEMPORARY OR PERMANENT SOIL STOCKPILES ARE PROPOSED. ALL EXCESS FILL & EXCESS MATERIAL TO BE HAULED OFFSITE.
  - AREAS OF 2:1 OR STEEPER SLOPES MUST BE STABILIZED WITH EC-2 MATTING.



NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING EROSION AND SEDIMENT CONTROL MEASURES IN AND AROUND THE POND.

**StormRax™ PEAK ROOF STRUCTURE (STANDARD SIZES)**  
PROVIDE ALL DIMENSIONS IN INCHES

**MOST STRUCTURE INFORMATION**

PART NUMBER	
LENGTH	
WIDTH	
WALL THICKNESS (REQD)	

**AVAILABLE OPTIONS**

- 1/2" CHANNEL STEEL CROSS BRACINGS
- REMOVABLE ACCESS HATCH
- ROOF ANTI-VIBRATION PLATE

**NOTE:** 1. STABLE EROSION SHOULD BE SHOWN AND WHEN MEASURING; 2. MATERIALS TO BE CHANGED TO OTHER TYPES OR SPECIFICATIONS SHOULD BE APPROVED BY THE ENGINEER.

WIDTH A	DEPTH B	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)	CHORDS/ROOF CODES (A, B, C)
29 1/8"	36 1/8"	54 1/8"	66 1/8"	72 1/8"	81 1/8"	89 1/8"	99 1/8"	108 1/8"	118 1/8"
33 1/8"	41 1/8"	63 1/8"	78 1/8"	84 1/8"	93 1/8"	101 1/8"	111 1/8"	120 1/8"	130 1/8"
37 1/8"	49 1/8"	75 1/8"	93 1/8"	100 1/8"	111 1/8"	120 1/8"	130 1/8"	140 1/8"	150 1/8"
41 1/8"	57 1/8"	87 1/8"	108 1/8"	116 1/8"	127 1/8"	138 1/8"	148 1/8"	158 1/8"	168 1/8"
45 1/8"	65 1/8"	101 1/8"	125 1/8"	134 1/8"	147 1/8"	158 1/8"	168 1/8"	178 1/8"	188 1/8"
49 1/8"	73 1/8"	115 1/8"	143 1/8"	153 1/8"	167 1/8"	178 1/8"	188 1/8"	198 1/8"	208 1/8"
53 1/8"	81 1/8"	129 1/8"	161 1/8"	172 1/8"	187 1/8"	198 1/8"	208 1/8"	218 1/8"	228 1/8"
57 1/8"	89 1/8"	143 1/8"	180 1/8"	192 1/8"	209 1/8"	220 1/8"	230 1/8"	240 1/8"	250 1/8"
61 1/8"	97 1/8"	157 1/8"	201 1/8"	214 1/8"	231 1/8"	242 1/8"	252 1/8"	262 1/8"	272 1/8"
65 1/8"	105 1/8"	171 1/8"	221 1/8"	236 1/8"	253 1/8"	264 1/8"	274 1/8"	284 1/8"	294 1/8"
69 1/8"	113 1/8"	185 1/8"	241 1/8"	258 1/8"	275 1/8"	286 1/8"	296 1/8"	306 1/8"	316 1/8"
73 1/8"	121 1/8"	199 1/8"	261 1/8"	280 1/8"	297 1/8"	308 1/8"	318 1/8"	328 1/8"	338 1/8"
77 1/8"	129 1/8"	213 1/8"	281 1/8"	302 1/8"	319 1/8"	330 1/8"	340 1/8"	350 1/8"	360 1/8"
81 1/8"	137 1/8"	227 1/8"	301 1/8"	324 1/8"	341 1/8"	352 1/8"	362 1/8"	372 1/8"	382 1/8"
85 1/8"	145 1/8"	241 1/8"	321 1/8"	346 1/8"	363 1/8"	374 1/8"	384 1/8"	394 1/8"	404 1/8"
89 1/8"	153 1/8"	255 1/8"	341 1/8"	368 1/8"	385 1/8"	396 1/8"	406 1/8"	416 1/8"	426 1/8"
93 1/8"	161 1/8"	269 1/8"	361 1/8"	390 1/8"	407 1/8"	418 1/8"	428 1/8"	438 1/8"	448 1/8"
97 1/8"	169 1/8"	283 1/8"	381 1/8"	410 1/8"	427 1/8"	438 1/8"	448 1/8"	458 1/8"	468 1/8"
101 1/8"	177 1/8"	297 1/8"	401 1/8"	430 1/8"	447 1/8"	458 1/8"	468 1/8"	478 1/8"	488 1/8"
105 1/8"	185 1/8"	311 1/8"	421 1/8"	450 1/8"	467 1/8"	478 1/8"	488 1/8"	498 1/8"	508 1/8"
109 1/8"	193 1/8"	325 1/8"	441 1/8"	470 1/8"	487 1/8"	498 1/8"	508 1/8"	518 1/8"	528 1/8"
113 1/8"	201 1/8"	339 1/8"	461 1/8"	490 1/8"	507 1/8"	518 1/8"	528 1/8"	538 1/8"	548 1/8"
117 1/8"	209 1/8"	353 1/8"	481 1/8"	510 1/8"	527 1/8"	538 1/8"	548 1/8"	558 1/8"	568 1/8"
121 1/8"	217 1/8"	367 1/8"	501 1/8"	530 1/8"	547 1/8"	558 1/8"	568 1/8"	578 1/8"	588 1/8"
125 1/8"	225 1/8"	381 1/8"	521 1/8"	550 1/8"	567 1/8"	578 1/8"	588 1/8"	598 1/8"	608 1/8"
129 1/8"	233 1/8"	395 1/8"	541 1/8"	570 1/8"	587 1/8"	598 1/8"	608 1/8"	618 1/8"	628 1/8"
133 1/8"	241 1/8"	409 1/8"	561 1/8"	590 1/8"	607 1/8"	618 1/8"	628 1/8"	638 1/8"	648 1/8"
137 1/8"	249 1/8"	423 1/8"	581 1/8"	610 1/8"	627 1/8"	638 1/8"	648 1/8"	658 1/8"	668 1/8"
141 1/8"	257 1/8"	437 1/8"	601 1/8"	630 1/8"	647 1/8"	658 1/8"	668 1/8"	678 1/8"	688 1/8"
145 1/8"	265 1/8"	451 1/8"	621 1/8"	650 1/8"	667 1/8"	678 1/8"	688 1/8"	698 1/8"	708 1/8"
149 1/8"	273 1/8"	465 1/8"	641 1/8"	670 1/8"	687 1/8"	698 1/8"	708 1/8"	718 1/8"	728 1/8"
153 1/8"	281 1/8"	479 1/8"	661 1/8"	690 1/8"	707 1/8"	718 1/8"	728 1/8"	738 1/8"	748 1/8"
157 1/8"	289 1/8"	493 1/8"	681 1/8"	710 1/8"	727 1/8"	738 1/8"	748 1/8"	758 1/8"	768 1/8"
161 1/8"	297 1/8"	507 1/8"	701 1/8"	730 1/8"	747 1/8"	758 1/8"	768 1/8"	778 1/8"	788 1/8"
165 1/8"	305 1/8"	521 1/8"	721 1/8"	750 1/8"	767 1/8"	778 1/8"	788 1/8"	798 1/8"	808 1/8"
169 1/8"	313 1/8"	535 1/8"	741 1/8"	770 1/8"	787 1/8"	798 1/8"	808 1/8"	818 1/8"	828 1/8"
173 1/8"	321 1/8"	549 1/8"	761 1/8"	790 1/8"	807 1/8"	818 1/8"	828 1/8"	838 1/8"	848 1/8"
177 1/8"	329 1/8"	563 1/8"	781 1/8"	810 1/8"	827 1/8"	838 1/8"	848 1/8"	858 1/8"	868 1/8"
181 1/8"	337 1/8"	577 1/8"	801 1/8"	830 1/8"	847 1/8"	858 1/8"	868 1/8"	878 1/8"	888 1/8"
185 1/8"	345 1/8"	591 1/8"	821 1/8"	850 1/8"	867 1/8"	878 1/8"	888 1/8"	898 1/8"	908 1/8"
189 1/8"	353 1/8"	605 1/8"	841 1/8"	870 1/8"	887 1/8"	898 1/8"	908 1/8"	918 1/8"	928 1/8"
193 1/8"	361 1/8"	619 1/8"	861 1/8"	890 1/8"	907 1/8"	918 1/8"	928 1/8"	938 1/8"	948 1/8"
197 1/8"	369 1/8"	633 1/8"	881 1/8"	910 1/8"	927 1/8"	938 1/8"	948 1/8"	958 1/8"	968 1/8"
201 1/8"	377 1/8"	647 1/8"	901 1/8"	930 1/8"	947 1/8"	958 1/8"	968 1/8"	978 1/8"	988 1/8"
205 1/8"	385 1/8"	661 1/8"	921 1/8"	950 1/8"	967 1/8"	978 1/8"	988 1/8"	998 1/8"	1008 1/8"
209 1/8"	393 1/8"	675 1/8"	941 1/8"	970 1/8"	987 1/8"	998 1/8"	1008 1/8"	1018 1/8"	1028 1/8"
213 1/8"	401 1/8"	689 1/8"	961 1/8"	990 1/8"	1007 1/8"	1018 1/8"	1028 1/8"	1038 1/8"	1048 1/8"
217 1/8"	409 1/8"	703 1/8"	981 1/8"	1010 1/8"	1027 1/8"	1038 1/8"	1048 1/8"	1058 1/8"	1068 1/8"
221 1/8"	417 1/8"	717 1/8"	1001 1/8"	1030 1/8"	1047 1/8"	1058 1/8"	1068 1/8"	1078 1/8"	1088 1/8"
225 1/8"	425 1/8"	731 1/8"	1021 1/8"	1050 1/8"	1067 1/8"	1078 1/8"	1088 1/8"	1098 1/8"	1108 1/8"
229 1/8"	433 1/8"	745 1/8"	1041 1/8"	1070 1/8"	1087 1/8"	1098 1/8"	1108 1/8"	1118 1/8"	1128 1/8"
233 1/8"	441 1/8"	759 1/8"	1061 1/8"	1090 1/8"	1107 1/8"	1118 1/8"	1128 1/8"	1138 1/8"	1148 1/8"
237 1/8"	449 1/8"	773 1/8"	1081 1/8"	1110 1/8"	1127 1/8"	1138 1/8"	1148 1/8"	1158 1/8"	1168 1/8"
241 1/8"	457 1/8"	787 1/8"	1101 1/8"	1130 1/8"	1147 1/8"	1158 1/8"	1168 1/8"	1178 1/8"	1188 1/8"
245 1/8"	465 1/8"	801 1/8"	1121 1/8"	1150 1/8"	1167 1/8"	1178 1/8"	1188 1/8"	1198 1/8"	1208 1/8"
249 1/8"	473 1/8"	815 1/8"	1141 1/8"	1170 1/8"	1187 1/8"	1198 1/8"	1208 1/8"	1218 1/8"	1228 1/8"
253 1/8"	481 1/8"	829 1/8"	1161 1/8"	1190 1/8"	1207 1/8"	1218 1/8"	1228 1/8"	1238 1/8"	1248 1/8"
257 1/8"	489 1/8"	843 1/8"	1181 1/8"	1210 1/8"	1227 1/8"	1238 1/8"	1248 1/8"	1258 1/8"	1268 1/8"
261 1/8"	497 1/8"	857 1/8"	1201 1/8"	1230 1/8"	1247 1/8"	1258 1/8"	1268 1/8"	1278 1/8"	1288 1/8"
265 1/8"	505 1/8"	871 1/8"	1221 1/8"	1250 1/8"	1267 1/8"	1278 1/8"	1288 1/8"	1298 1/8"	1308 1/8"
269 1/8"	513 1/8"	885 1/8"	1241 1/8"	1270 1/8"	1287 1/8"	1298 1/8"	1308 1/8"	1318 1/8"	1328 1/8"
273 1/8"	521 1/8"	899 1/8"	1261 1/8"	1290 1/8"	1307 1/8"	1318 1/8"	1328 1/8"	1338 1/8"	1348 1/8"
277 1/8"	529 1/8"	913 1/8"	1281 1/8"	1310 1/8"	1327 1/8"	1338 1/8"	1348 1/8"	1358 1/8"	1368 1/8"
281 1/8"	537 1/8"	927 1/8"	1301 1/8"	1330 1/8"	1347 1/8"	1358 1/8"	1368 1/8"	1378 1/8"	1388 1/8"
285 1/8"	545 1/8"	941 1/8"	1321 1/8"	1350 1/8"	1367 1/8"	1378 1/8"	1388 1/8"	1398 1/8"	1408 1/8"
289 1/8"	553 1/8"	955 1/8"	1341 1/8"	1370 1/8"	1387 1/8"	1398 1/8"	1408 1/8"	1418 1/8"	1428 1/8"
293 1/8"	561 1/8"	969 1/8"	1361 1/8"	1390 1/8"	1407 1/8"	1418 1/8"	1428 1/8"	1438 1/8"	1448 1/8"
297 1/8"	569 1/8"	983 1/8"	1381 1/8"	1410 1/8"	1427 1/8"	1438 1/8"	1448 1/8"	1458 1/8"	1468 1/8"
301 1/8"	577 1/8"	997 1/8"	1401 1/8"	1430 1/8"	1447 1/8"	1458 1/8"	1468 1/8"	1478 1/8"	1488 1/8"
305 1/8"	585 1/8"	1011 1/8"	1421 1/8"	1450 1/8"	1467 1/8"	1478 1/8"	1488 1/8"	1498 1/8"	1508 1/8"
309 1/8"	593 1/8"	1025 1/8"	1441 1/8"	1470 1/8"	1487 1/8"	1498 1/8"	1508 1/8"	1518 1/8"	1528 1/8"
313 1/8"	601 1/8"	1039 1/8"	1461 1/8"	1490 1/8"	1507 1/8"	1518 1/8"	1528 1/8"	1538 1/8"	1548 1/8"
317 1/8"	609 1/8"	1053 1/8"	1481 1/8"	1510 1/8"	1527 1/8"	1538 1/8"	1548 1/8"	1558 1/8"	1568 1/8"
321 1/8"	617 1/8"	1067 1/8"	1501 1/8"	1530 1/8"	1547 1/8"	1558 1/8"	1568 1/8"	1578 1/8"	1588 1/8"
325 1/8"	625 1/8"	1081 1/8"	1521 1/8"	1550 1/8"	1567 1/8"	1578 1/8"	1588 1/8"	1598 1/8"	1608 1/8"
329 1/8"	633 1/8"	1095							







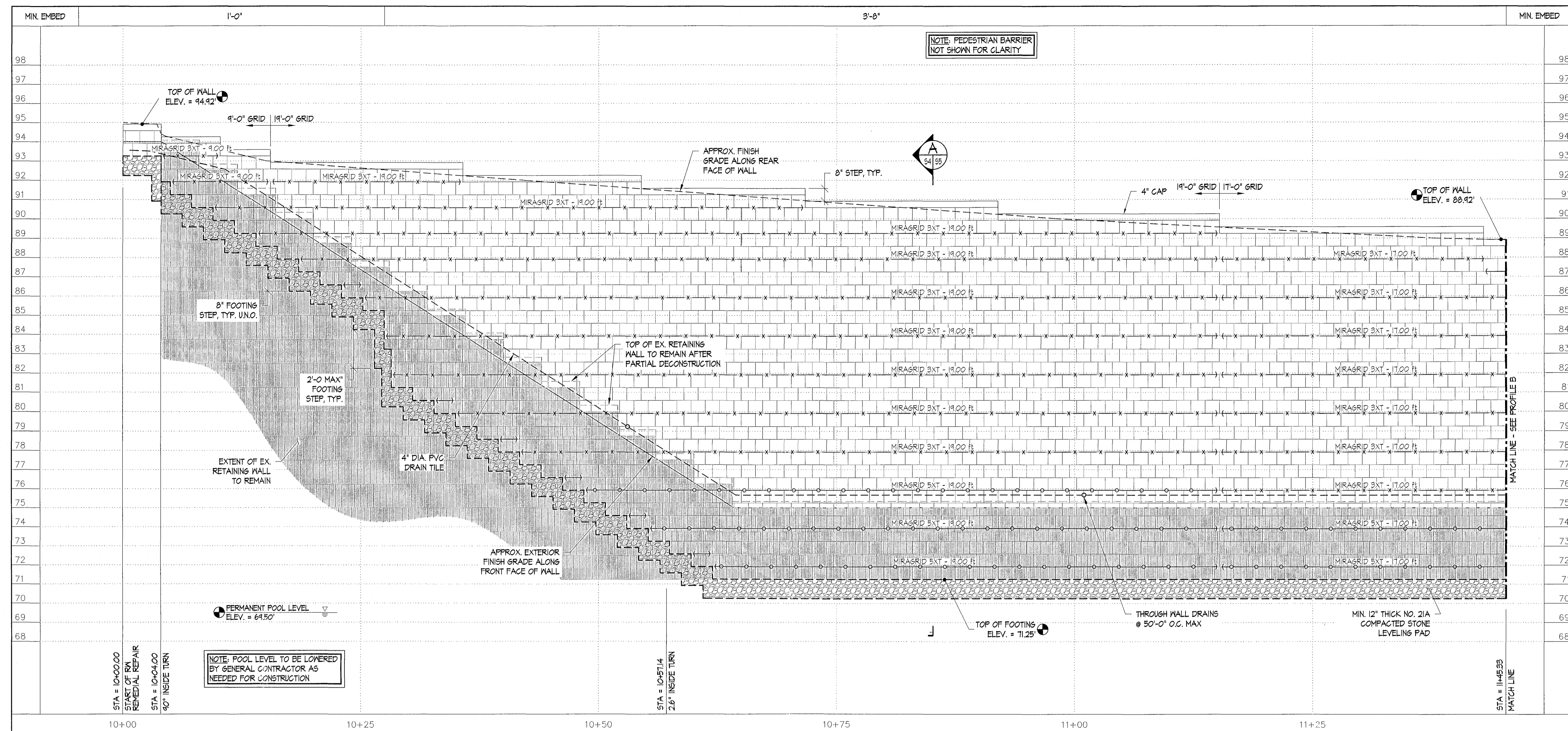




202313341

**LEGEND**

■ EXTENT OF EX. RETAINING WALL TO REMAIN



**WALL PROFILE**  
 HORIZ. SCALE: 1" = 6'-0", VERT. SCALE: 1" = 3'-0"

Sheet	33	3 of 6
RETAINING WALL PROFILE	SETTER'S MARKET BMP REMEDIATION PLAN	VIRGINIA
	JAMES CITY COUNTY	
	1	No.
	JCC Comments Dated 4/24/23	Date
	5/16/23	5/16/23
	Project # VAC0344ADES	Drawn by: JMK
	Date: 5/16/23	Reviewed by: MAM
<p>The Structures Group, Inc.        1200 Old Colony Lane • Williamsburg, VA 23185        (757) 220-0465 • Fax (757) 220-1546        www.thestructuresgroup.com</p>		

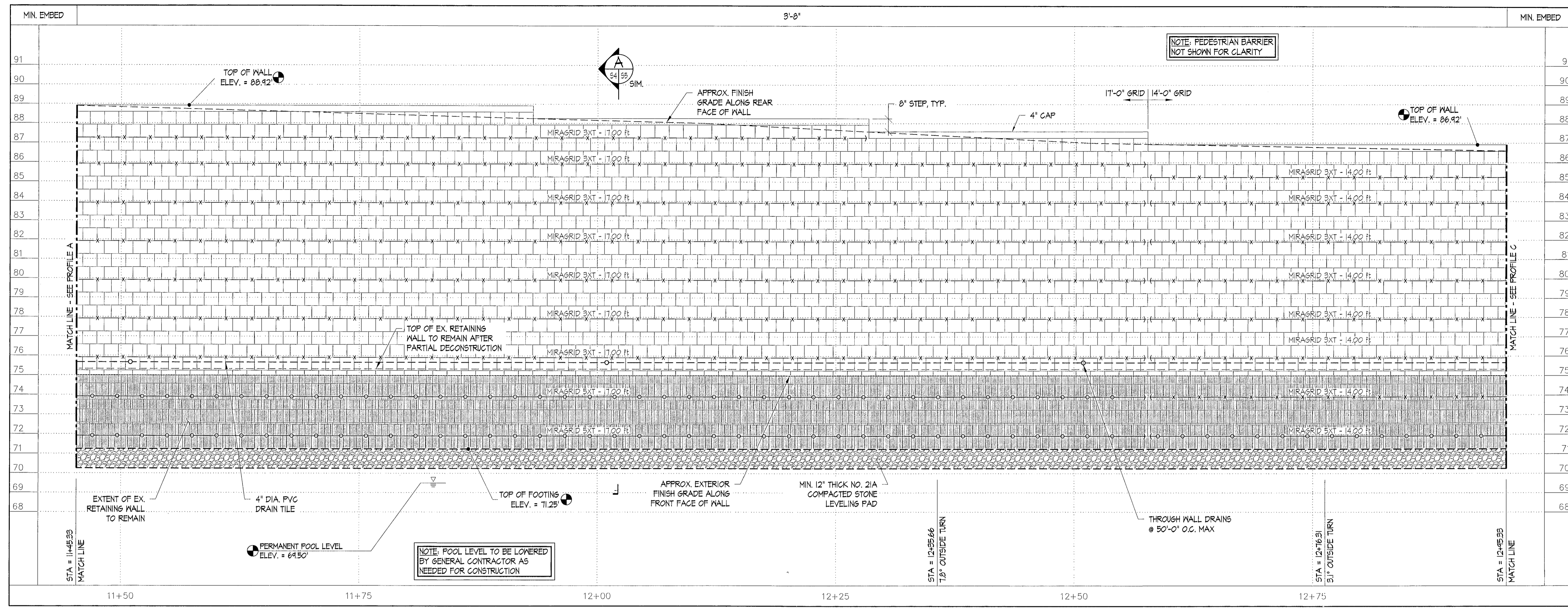
10 Large/Small Plat(s) Recorded  
 herewith as # 202313341

City of Williamsburg & County of James City  
 Circuit Court. This PLAT was recorded on  
 Dec. 12, 2023  
 at 9:11 AM/PM, PG  
 Document # 202313341  
 ELIZABETH E. O'CONNOR, CLERK  
 Elizabeth E. O'Connor, Clerk



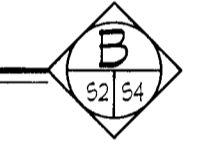
**LEGEND**

EXTENT OF EX. RETAINING WALL TO REMAIN



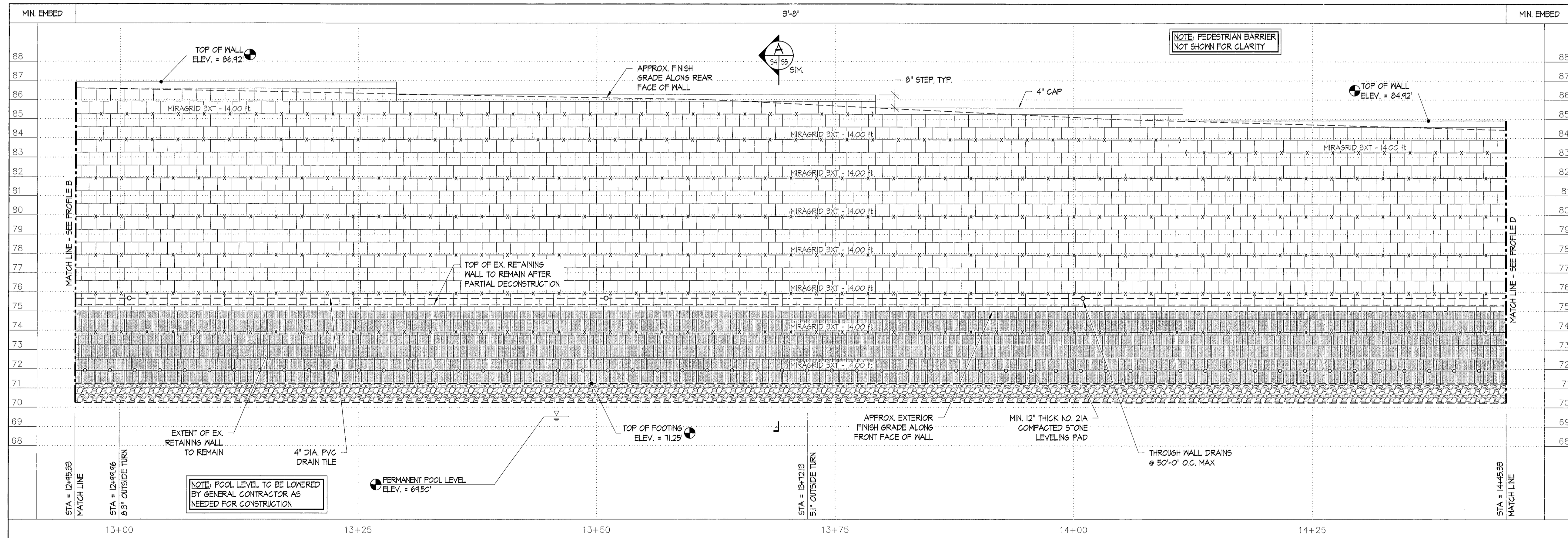
**WALL PROFILE**

HORIZ. SCALE: 1" = 6'-0", VERT. SCALE: 1" = 3'-0"



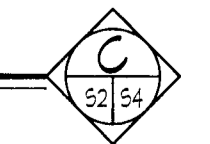
10 Large/Small Plat(s) Recorded  
herewith as # 202313341

City of Williamsburg & County of James City  
Circuit Court: This Plat was recorded on  
Dec 13, 2023  
at 9:17 AM, PB PG  
Document # 202313341  
ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk



**WALL PROFILE**

HORIZ. SCALE: 1" = 6'-0", VERT. SCALE: 1" = 3'-0"



Reviewed by: MAM  
Drawn by: JMK  
Project #: VA202344ADE5  
Date: 5/16/23  
Date: 5/16/23  
Date: 5/16/23

**THE STRUCTURES GROUP, INC.**  
1200 Old Colony Lane • Williamsburg, VA 23185  
(757)220-0465 • Fax (757)220-1646  
www.thestructuresgroup.com

Professional Seal: JOSEPH W. KRALLINGER, Lic. No. 66986, 5/16/23

JCC Comments Dated 4/24/23  
Revisions: No. 1

RETAINING WALL PROFILES  
**SETTLER'S MARKET  
BMP REMEDIATION PLAN**  
VIRGINIA  
JAMES CITY COUNTY  
4 of 6

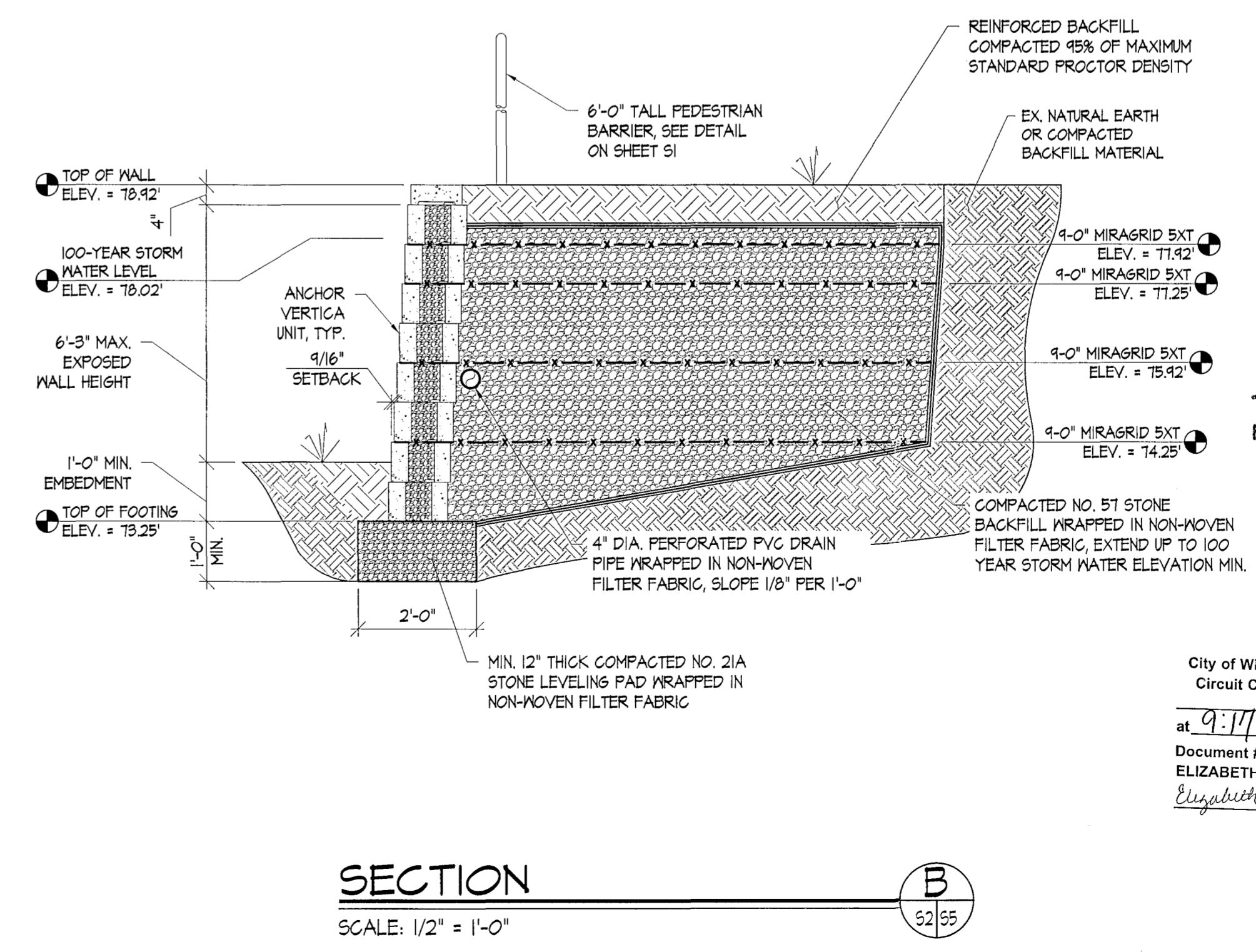
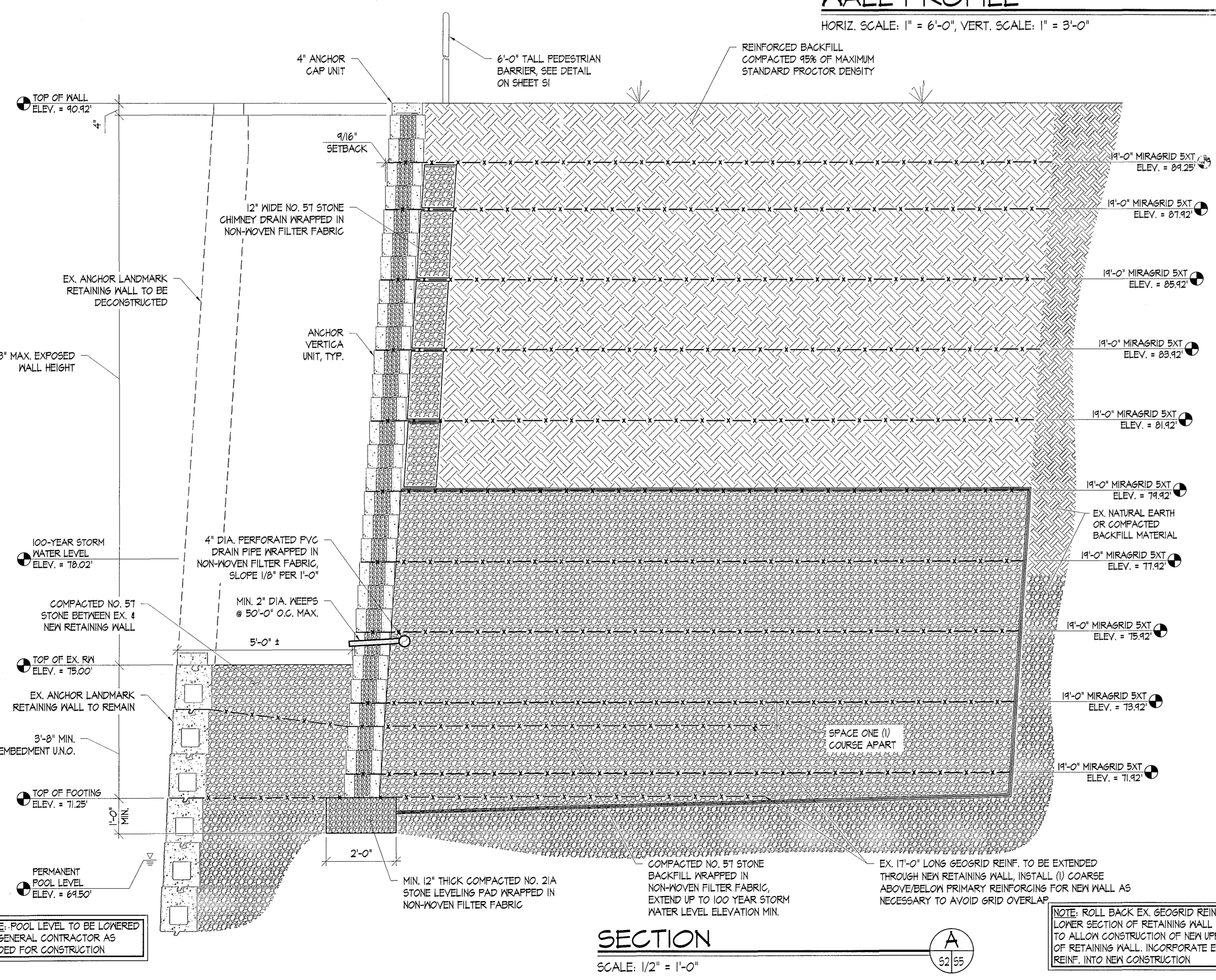
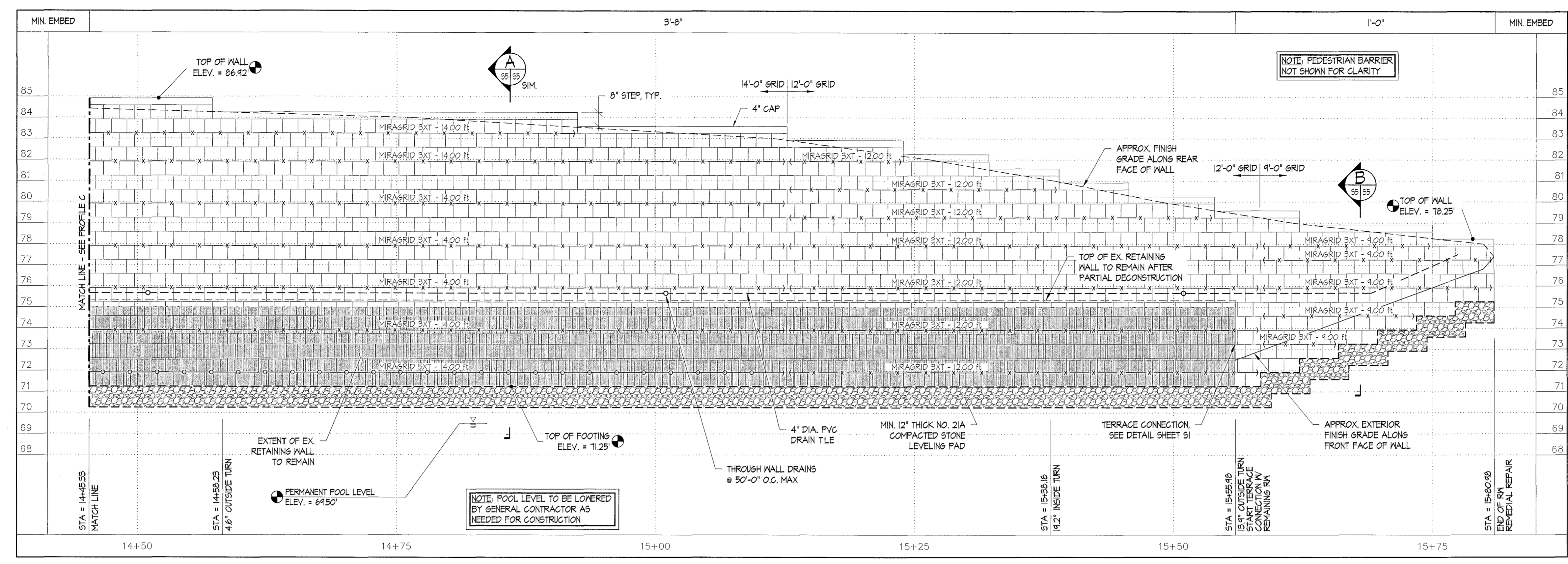
Sheet: **54**



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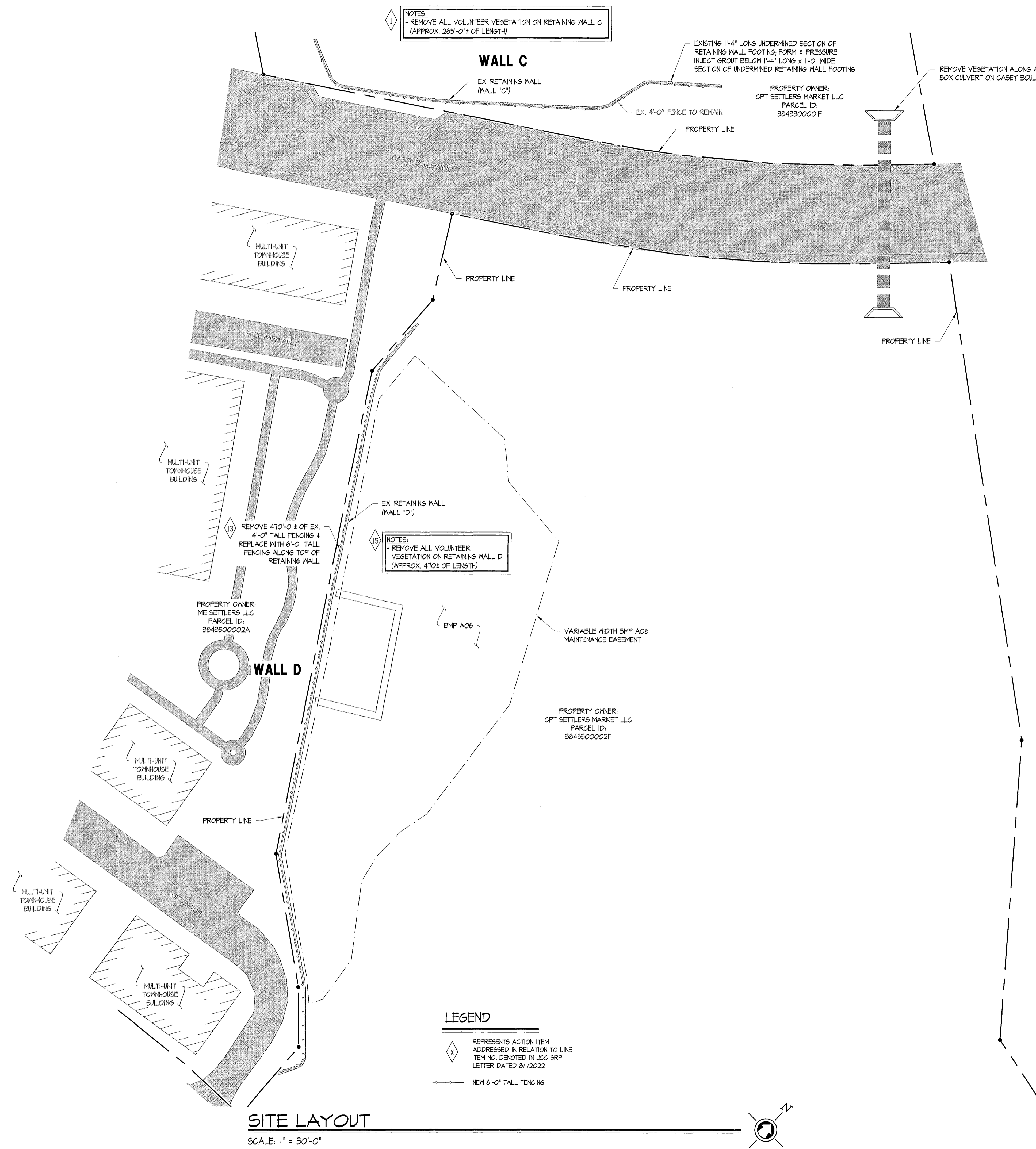
**LEGEND**

EXTENT OF EX. RETAINING WALL TO REMAIN



Sheet	55	5 of 6
RETAINING WALL PROFILE & SECTIONS	JAMES CITY COUNTY	
<b>SETTER'S MARKET BMP REMEDIATION PLAN</b>		
VIRGINIA		
Revisions	No.	Date
1	JCC Comments Dated	4/24/23
Date:	5/16/23	
Project #:	VAC2024A4DES	Drawn by: JMK
Reviewed by:	MAM	
 The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23185 (757)220-0465 • Fax (757)220-1546 www.thestructuresgroup.com		
City of Williamsburg & County of James City Circuit Court: This PLAT was recorded on at 9:17 AM on 5/13/2023 Document # 202313341 ELIZABETH E. O'CONNOR, CLERK Elizabeth E. O'Connor, Clerk		





**NOTE:**  
 - IT SHOULD BE NOTED THAT THE EXISTING RETAINING WALLS C & D WERE IN PLACE PRIOR TO JAMES CITY COUNTY ORDINANCE SECTION 23-91, TITLED PERFORMANCE STANDARDS FOR RETAINING WALLS, AND ENACTED MAY 11, 2021.  
 - THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO MAINTENANCE AND REMEDIAL REPAIRS OF THE EXISTING RETAINING WALLS AND BMP STRUCTURES.

Sheet	BMP A06 SITE LAYOUT & RETAINING WALL C	Date: 5/16/23	Project #: VA202344ADES	Drawn by: JMK	Reviewed by: MAM
56	SETTER'S MARKET BMP REMEDIATION PLAN	1	JCC Comments Dated 4/24/23	5/16/23	Date
JAMES CITY COUNTY		VIRGINIA			
The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23185 (757)220-0465 • Fax (757)220-1546 www.thestructuresgroup.com					

10 Large/Small Plat(s) Recorded  
 herewith as # 202313341

City of Williamsburg & County of James City  
 Circuit Court, This PLAT was recorded on  
 Dec 12 2023  
 at 9:17 AM PM, PG --  
 Document # 202313341  
 ELIZABETH E. O'CONNOR, CLERK  
 Elizabeth E. O'Connor, Clerk