INDEX OF SHEETS:

SITE DATA:

3820100014 3843300001F

3843500001A 38433000002A

3843300002F

TOTAL PARCEL AREA:

FLOOD HAZARD MAP:

SITE ADDRESS:

TAX PARCELS:

ZONING:

SHEET DESCRIPTION

BMP #A04, WALLS A, B, & C

RETAINING WALL PROFILE **RETAINING WALL PROFILES**

JAMES CITY COUNTY COMMENTS

GENERAL NOTES & TYPICAL DETAILS BMP A04 SITE LAYOUT & GRADING PLAN

RETAINING WALL PROFILES & SECTIONS

OWNER/DEVELOPER INFORMATION:

1615 S CONGRESS AVE, SUITE 103

16.58 ACRES

Disturbed Area = 3.82 AC jar 9/14/2023

BMP A06 SITE LAYOUT & RETAINING WALL C

NATASCHA BONDAR-ESTRELLA, PROPERTY MANAGER

5225 SETTLERS MARKET BLVD

ME SETTLERS LL

CPT SETTLERS MARKET LLC

CPT SETTLERS MARKET LLC

MU - MIXED USE WITH PROFFERS (Z-0016-2005 / MP-0013-2005 & Z-0003-2011 / MP-0002-2011)

51095C0138D, DATED 12/16/2015 OF THE FLOOD INSURANCE RATE MAPS FOR JAMES CITY

THIS PROPERTY IS IN FLOOD ZONE X AS SHOWN ON MAP NUMBERS 51095C0119D AND

COUNTY, VIRGINIA. ZONE X IS DEFINED AS OUTSIDE THE 500-YEAR FLOOD PLAIN.

COVER SHEET

BMP #A06, WALL D

MADISON MARQUETTE

DELRAY BEACH, FL 33445

BMP REMEDIATION PLAN

SETTLERS MARKET

NEW TOWN SECTION 9

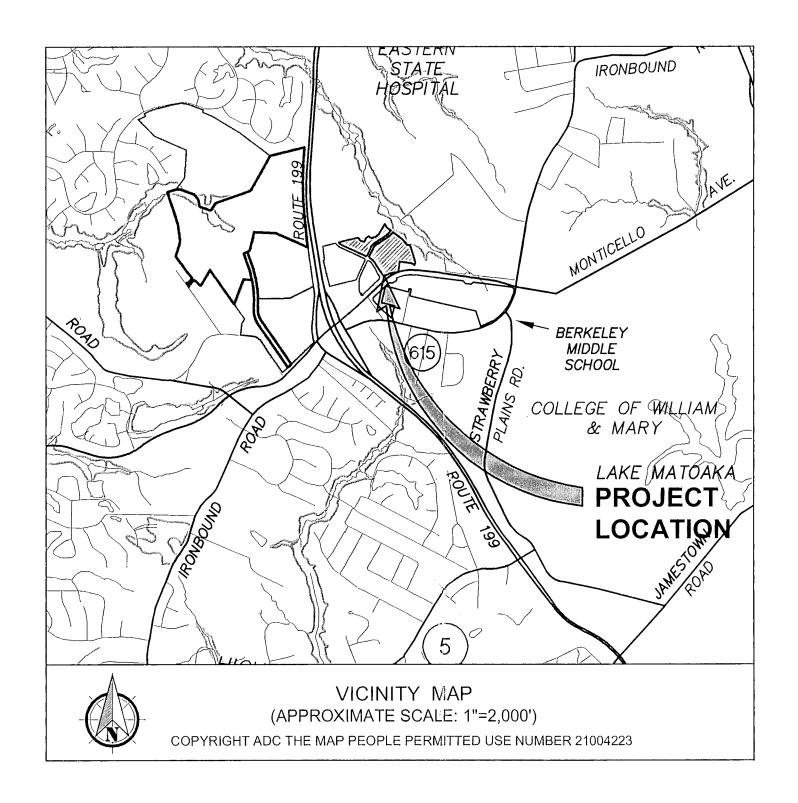
BERKELEY DISTRICT

JAMES CITY COUNTY

VIRGINIA

GENERAL NOTES:

- THIS PROPERTY IS IN FLOOD ZONE "X" AS SHOWN ON MAP NUMBERS 51095C0119C AND 51095C0138D, DATED 12/16/2015 OF THE FLOOD INSURANCE RATE MAPS FOR JAMES CITY COUNTY VIRGINIA. ZONE "X" IS DEFINED AS AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN.
- SURVEY DATA PROVIDED BASED UPON JAMES CITY COUNTY GEODETIC CONTROL NAD-83 ESTABLISHED FROM MONUMENT 325.
- THIS SITE IS SITUATED IN POWHATAN CREEK SUB-WATERSHED 208 OF JAMES CITY COUNTY
- ALL ERRORS OR DISCREPANCIES WITH THE PLANS OR EXISTING SITE CONDITIONS SHALL BE
- 5. CONTOUR INTERVAL IS 1 FOOT. EXISTING GRADE IS FROM SURVEY PROVIDED BY AES
- 6. A LAND USE PERMIT IS REQUIRED FOR ALL WORK WITHIN THE VDOT RIGHT-OF-WAY. THE CONTRACTOR SHALL NOTIFY VDOT IN WRITING 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE VDOT RIGHT-OF-WAY. THE GENERAL CONTRACTOR SHALL SECURE THIS
- 7. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE APPROVED PLANS AT THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS UTILITY (1-800-552-7001) FOR EXISTING UTILITY LOCATIONS AT LEAST 3 WORKING DAYS PRIOR TO COMMENCING
- UNLESS OTHERWISE DIRECTED BY THE OWNER. CONSTRUCTION WITHIN EASEMENTS OR ON PUBLIC RIGHT-OF-WAY NECESSITATES NOTICE WHETHER ADJACENT TO OR LOCATED ON THE
- RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE DRAWINGS, CONTRACT DOCUMENTS, ADDENDA, AND WRITTEN AUTHORIZED PLAN
- 11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANYBODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- 12. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE CURRENT JAMES CITY COUNTY STANDARDS AND SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, AND ANY OTHER APPLICABLE CITY OR STATE ORDINANCES, CODES, AND LAWS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 13. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK INCLUDING, BUT NOT LIMITED TO, LAND DISTURBING, BUILDING, RIGHT-OF-WAY, AND UTILITY PERMITS.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION EFFORTS WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT), LOCAL EMERGENCY SERVICES, AND ALL NECESSARY UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, ELECTRICITY, NATURAL GAS, TELECOMMUNICATIONS, CABLE TELEVISION, WATER, SEWER, PRIVATE LIGHTING, AND OTHERS THAT MAY BE REQUIRED.
- 16. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ALL SITE CONDITIONS PRIOR TO
- 17. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, AS SHOWN ON THE APPROVED PLAN.
- 18. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, INCLUDING SOIL AND DEBRIS, FROM
- 19. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT (SECTION 56-265.14 ET. SEQ. CODE OF VIRGINIA, 1950, AS AMENDED) AND HEREBY AGREES TO HOLD THE DEVELOPER AND THE ENGINEER HARMLESS AGAINST ANY LOSS, DAMAGE, OR CLAIMS OF ANY NATURE WHATSOEVER ARISING OUT OF THE CONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENTS OF SAID ACT.
- 20. THE PROFESSIONAL WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR PURPOSES OF PLAN APPROVAL ONLY. PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT, THE CONTRACTOR SHALL PROVIDE THE NAME OF A "RESPONSIBLE LAND DISTURBER" WHO SHALL ASSUME RESPONSIBILITY AS THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION SHOULD THE "RESPONSIBLE LAND DISTURBER" CHANGE DURING CONSTRUCTION.
- 21. SUBMISSION OF POST-CONSTRUCTION ASBUILTS IS REQUIRED PER THE CURRENT FINAL STORMWATER ASBUILT PROCESS.
- 22. CCTV OF ALL ASSOCIATED PIPING IS REQUIRED PER THE CURRENT JCC CCTV GUIDANCE.
- 23. THIS PLAN HAS BEEN APPROVED BY NEW TOWN DEVELOPMENT REVIEW BOARD ON MAY 3, 2023.
- 24. NO EXTERIOR LIGHTING OR SIGNS ARE PROPOSED.
- 25. NO TEMPORARY OR PERMANENT SOIL STOCKPILES ARE PROPOSED. ALL EXCESS FILL & EXCESS MATERIAL TO BE HAULED OFFSITE.



ORIGINAL COUNTY PROJECT NO.: JCC-SP-74-06 REMEDIATION PLAN NO.: JCC-SP-23-0015 AMENDED PLAN SUBMITTAL DATE: MAY 12, 2023

SEQUENCE OF CONSTRUCTION:

- 1. SCHEDULE AND HOLD A PRECONSTRUCTION CONFERENCE WITH JCC STORMWATER AND RESOURCE PROTECTION DIVISION. ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED.
- 2. INSTALL CONSTRUCTION ENTRANCE.
- 3. INSTALL SILT FENCE DOWNSTREAM OF ANY LAND DISTURBANCE
- 4. DE-WATER BMP A04 POND ELEVATION TO 66'-0"+/- IN ACCORDANCE TO VESCH STANDARD 3.26.
- 5. CLEAR EXISTING VEGETATION BEHIND RETAINING WALL A AS REQUIRED TO PARTIALLY DECONSTRUCT EXISTING PORTION OF RETAINING WALL AND CONSTRUCT NEW SEGMENTAL BLOCK RETAINING WALL AS DENOTED ON SHEET S2.
- 6, PARTIALLY DECONSTRUCT 577'-0" LENGTH OF RETAINING WALL A AT LOCATION DENOTED ON SHEET S2.
- 7. CONSTRUCT NEW SEGMENTAL BLOCK RETAINING WALL AND GEO-GRID REINFORCING ADJACENT TO DECONSTRUCTED PORTION OF RETAINING WALL A AT LOCATION DENOTED ON SHEET S2, BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS.
- 8. DE-WATER BMP A06 POND ELEVATION TO 72'-0"+/- IN ACCORDANCE TO VESCH STANDARD 3.26.
- 9. PREFORM SITE AND DRAINAGE REPAIRS TO BMP A04 AND BMP A06 AS DENOTED ON SHEETS C2 AND C3.
- 10. REMOVE ALL VOLUNTEER VEGETATION FROM RETAINING WALL D AS DENOTED ON SHEET S6.
- 11. REMOVE ALL VOLUNTEER VEGETATION FROM RETAINING WALL C AND PERFORM REPAIRS TO RETAINING WALL C AND BOX CULVERT ON CASEY BOULEVARD AS DENOTED ON SHEET S6.
- 12. APPLY PERMANENT SEEDING AS NECESSARY TO STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH GENERAL NOTE 12 ON SHEET CO.
- 13. REMOVE EXISTING 4'-0" TALL FENCING ALONG TOP OF RETAINING WALLS A, B, AND D ALONG BMP A04 AND BMP A06 AND REPLACE WITH NEW 6'-0" TALL FENCING.
- 14. REMOVE DE-WATERING EQUIPMENT/ALLOW BMP A04 POND AND BMP A06 POND TO FILL TO PERMANENT POOL LEVEL.
- 15. REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.
- 16. PONDS SHOULD BE MONITORED THROUGHOUT CONSTRUCTION FOR EVIDENCE OF SILTATION. IF WARRANTED, PONDS SHALL BE DRAINED AND SEDIMENT REMOVED IN ACCORDANCE TO JCC ENVIRONMENTAL GUIDELINES.

PLANNING DIVISION

SEP **05** 2023

RECEIVED

JUDNIY OF JAMES CITY FINAL SITE PLAN

BENCHMARK LAND DATUM INFO:

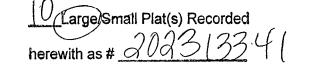
BENCHMARK: STATION NO. 325, EASTING(X) 11995286.983

HORIZONTAL DATUM: JAMES CITY COUNTY GEODETIC CONTROL NETWORK VA. STATE PLACE COORDINATE SYSTEM - SOUTH ZONE

NAD 083 (1994 VA HARN)

VERTICAL DATUM: JAMES CITY COUNTY GEODETIC CONTROL NETWORK NGVD 29

THESE PLANS ARE TO ADDRESS DEFICIENCIES IN THE EXISTING PONDS, A04 & A06 NORTH OF CASEY BOULEVARD AND SETTLER'S MARKET BOULEVARD. ANY CHANGES OUTSIDE OF THE SCOPE OF THIS BMP REMEDIATION PLAN SHALL BE COORDINATED WITH THE DESIGN ENGINEERS AND JAMES CITY COUNTY. THE POND AMENDMENTS AND CALCULATIONS PROVIDED ARE SHOWING COMPLIANCE WITH THE ORIGINAL APPROVED CONSTRUCTION DRAWINGS PREPARED BY LAI ENGINEERING, JULY 16,



NORTHING(Y) 3628200.301, ELEVATION=110.67

City of Williamsburg & County of James City Circuit Court: This PLAT was recorded on Dec. 13, 2023 Document # 2023/334 ELIZABETH E. O'CONNOR, CLERK liquilith E. O' Connor

MARKE

Project Contacts: Project Number: 6632-S9-03 AS NOTED 02/14/2023 Sheet Title: COVER SHEET

区里

Sheet Number

LEGEND:

REPRESENTS ACTION ITEM ADDRESSED IN RELATION TO LINE ITEM NO. DENOTED IN JCC SRP LETTER DATED 8/1/2022



General Services 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

jamescitycountyva.gov

Capital Projects 107 Tewning Road 103 Tewning Road Williamsburg, VA 23188 Williamsburg, VA 23188 757-259-4080 757-259-4122

Stormwater and Resource Protection 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

Facilities & Ground Solid Waste 1204 Jolly Pond Road 113 Tewning Road Williamsburg, VA 23188 Williamsburg, VA 23188 757-565-0971

8/1/2022

Ms. Margo Town Rosenthal Senior Property Manager 1945 Old Gallows Road, Suite 300 Vienna, VA 22182

Re: New Town Section 9 Stormwater Management Facilities James City County BMP ID Codes: PC 258 & 259

Dear Ms. Moses,

The Stormwater and Resource Protection Division has provided an extensive site inspection and reviewed interim record drawing information as provided for the above referenced project and received in our office on March 25th 2011. The previous submittal of record drawings has been considered as interim because the basins are currently operating in an Erosion and Sediment Control configuration. The following comments have been provided based on our review of the interim record drawings information and concurrent field inspections.

Construction Related Items:

PC-258 (noted as A-04 in approved plans)

associated with its establishment.

- Drawdown Pipe. Invert information for the inlet of the dewatering pipe indicates that the pipe was installed at elevation 69.96 while the approved application indicated the device was to be installed at elevation 69.25. Though this may not appear detrimental, this pipe does not daylight until elevation 75.66 which is detrimental to the downstream channel and for proper operation of this facility. Further, the final configuration of this facility requires a new pipe be installed from the riser and into the normal pool below elevation 69.25 with a negative slope as is required with the approved construction documents. As it is critical to the operation of this facility that the dewatering pipe be lowered, this work is needed immediately.
- Crest of Riser. While the approved construction documents indicate the Crest of Riser was designed at elevation 74.00, the record drawings indicate an elevation of 76.61. With this elevation being 2' higher, the freeboard requirements have not been achieved and either site conditions need to be revised or revised routings are needed for this facility to show this will not be defrimental to the proper operation and overall lifespan of the facility.

Subsidence. There is an area of subsidence immediately in front of the principal spillway for this

facility. As this could be associated with the connection to the dewatering pipe, this needs to be

Drawdown Pipe. Information provided in the record drawings indicates the pond flow control

dewatering pipe located at the bottom elevation of the basin is indicated in the record drawing as being installed at elevation 73.47. With this elevation being provided at the inlet to the pipe, and

According to the record drawings, the bottom of the basin was constructed to the approved design depth of 72.00. This being the case, once this facility has been converted from a Temporary

Sediment Basin and placed into operation as an Extended Detention Dry facility, there will be approximately 1' of standing water perpetually in the bottom of the facility. This will make it

Barrel Pipe Outfall. There is currently an area of severe erosion immediately adjacent to the rip

Erosion. At an on-site inspection on April 4th 2011, significant erosion was noted at the western

of receiving tributary has significantly eroded since the construction of the associated facility and

Drawdown Pipe. Invert information for the inlet and outlet of the dewatering pipe indicate that the pipe may have been installed with a positive slope to the riser structure. This will promote clogging of the device and is against the information that was contained in the approved

0.5%; however, with the pipe apparently installed at 0.14%, the capacity of this pipe has been reduced from 31 cfs to 16.5 cfs per information contained in the record drawings. With the 10year and 100-year discharges associated with this facility indicated at approximately 43.4 cfs and 82.23 cfs respectively per the approved design documents, the barrel pipe needs to either be removed and replaced at the designated slope or the basin routings need to be revised to show that

rap and end section of the barrel pipe that requires fill, compaction, and the establishment of

end of the retaining wall. This has washed out the fill in the area and the fence support is

19. Outfall Channel. The outfall channel constructed between the BMP Barrel pipe outfall and edge

21. Barrel Pipe. The design slope for the barrel pipe associated with this facility was proposed at

this decrease in pipe capacity will not be detrimental to the operation of the facility.

22. Forebay. In the approved plan set, the forebay floor was specified to be hardened with rip rap to

prevent scour and ease maintenance; however, the current record drawings indicate this was not provided. As the current configuration of the facility is such that there is currently a permanent

cantilevered with the concrete fill suspended from the fencepost.

will require reconstruction and stabilization.

construction documents. This requires correction.

pool, this could not be verified at the time of the inspection.

pipe was not installed consistent with the approved construction documents. The pond

with no invert at the riser being presented in the record drawings, it is unknown if there is

additional depth to contend with or if simply lowering the inlet would rectify the issue.

very difficult to maintain the basin as is required and therefore needs to be corrected.

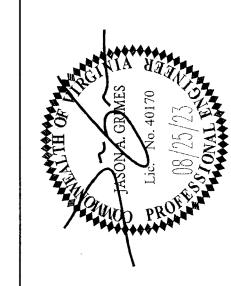
checked for leaks and the grade in this location needs to be reestablished.

15. Remove all volunteer vegetation on the retaining wall and address any necessary repairs

- Barrel Pipe. The barrel pipe has been constructed with a sag in the middle of pipe alignment. While this may not create an issue with the total capacity of the barrel, it does raise concern as to the maintenance of the dam as there is joint separation along the alignment.
- Pond Outfall Channel. The outfall channel constructed between the BMP barrel pipe outfall and edge of receiving tributary has significantly eroded since the construction of the associated facility and will require reconstruction and stabilization.
- Modular Block Retaining Wall. There are several areas along the alignment of the retaining wall along the western side of the BMP which have "moved" in the direction of normal pool. One of these areas is rather severe and has been a major point of concern since its construction. As public access is not prohibited in this area and the surrounding area is a mixed use development providing both residential and public uses, there is substantial concern for the public health, safety, and welfare. Remove all volunteer vegetation on the wall and address any necessary repairs associated with its establishment.
- Access Drive. The access drive requires refreshment of the stone section and requires removal of trees that have grown since construction of the facility.
- 7. Fence. Be advised that the 4' fence which currently exists does not meet the requirement of the approved plan as it was required to be 6' in height and located behind a guard rail spanning the length of the wall. These requirements were also provided as conditions to the approval of the pond variance for the basins dated April 17th 2007. Fence has been damaged in several areas and
- Riser Structure. There is a significant area of subsidence immediately in front of the principal spillway that appears to be associated with the connection to the flow control pipe for the basin. This connection needs to be repaired and grades reestablished.
- 9. Principal Spillway. Remove the filter fabric from the Principal Spillway to permit proper operation of the facility.
- 10. Remove silt fence from around the periphery of the facility. Though there is little stabilization throughout the areas disturbed for the construction of the facility, the silt fence is up-gradient of disturbed areas and is unnecessary at this time.
- 11. Clean and remove trash and debris from within the basin and around the riser structure to prevent clogging of the dewatering pipe once converted to final BMP mode.
- 12. Remove all volunteer vegetation within a 10' diameter of any inflow and outflow structures.

PC-259 (noted as A-06 in approved plans)

13. Fence. Be advised that the 4' fence which currently exists does not meet the requirement of the approved plan or the conditions to the approved stormwater pond variance dated April 17th 2007. In the approved application it was required to be 6' in height and located behind a guard rail spanning the length of the wall. Fence is damaged in several areas and needs to be repaired.



- 23. Remove silt fence from around the periphery of the facility. Though there is little stabilization throughout the areas disturbed for the construction of the facility, the silt fence is up-gradient of disturbed areas and is unnecessary at this time.
 - 24. Clean and remove trash and debris from within the basin to prevent clogging of the dewatering pipe once converted to final BMP mode.
 - 25. Remove all volunteer vegetation within a 10' diameter of any inflow and outflow structures.

- Remove all volunteer vegetation on the retaining wall and address any necessary repairs associated with its establishment.
- Remove vegetation along alignment of the box culvert on Casey Boulevard.

Please contact me at 757-253-6643 or the assigned Stormwater and Resource Protection Division inspector, Shannon Judson, at 757-253-6746 if you have any further comments or questions.

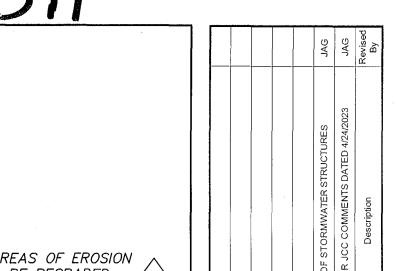
Sincerely,

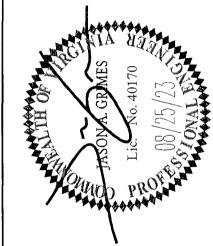
Project Contacts: Project Number: 6632-S9-03 Scale: Date: 02/14/2023 Sheet Title: JAMES CITY COUNTY COMMENTS

> Sheet Number

Permitting Specialist and Inspections Supervisor Stormwater and Resource Protection Division City of Williamsburg & County of James City Circuit Court: This PLAT was recorded on at AM/PM, PB PG Document # 202313341 ELIZABETH E. O'CONNOR, CLERK Elizabeth E. O'Connor

202313341 REMOVE EX. PIPE AND PLUG RISER OPENING - CONTRACTOR TO REPAIR SEPARATED (3)
PIPE JOINTS IN 54" RCP TO AVOID INSTALL NEW -70 LF OF 6"PVC TOP OF DAM= 78.4± -SOIL MIGRATION. MODIFICATION TO BE ackslash 2.50% REVERSE SLOPE - GRATE - RIM = 76.61 RESET 74.00 TOP OF WALL CERTIFIED BY GEOTECHNICAL ENGINEER DURING CONSTRUCTION INV IN=69.25 SPILLWAY -*= 78.56* 5'Wx5'Lx1.5'D -ELEV=76.0± — WETLAND INV=69.96 **69.25** BUFFER AREA CONCRETE MICRO-POOL (2) 54"RCP -INV IN=67.50 (6" PVC) INV=65.86 - 50 LF OF 54" (SEE BELOW DETAIL) RCP @ 0.88% , W.S.E.=69.25 104 LF OF 6"DIP -- 54" END SECTION CLEAN OUT=64.0 DEWATERING PIPE INV OUT=65.42 @ -0.29% **1.25%** - 30'x20' RIPRAP INSTALL NEW -This APRON - ALL AREAS OF EROSION 5'Wx5'Lx1.5'D 54"RCP-INV=66.30**67.30** 6"DIP SHALL BE REGRADED, COMPACTED, TOP SOILED W/FES CONCRETE MICRO-POOL (1) MICRO-POOL INV=66.0± LMICRO-POOL" APRON INV = 65.42INV IN=67.30 (6" DIP) AND SEEDED. (SEE BELOW DETAIL) BMP #A04 TOP OF WALL - CONTRACTOR TO REGRADE LIMITS OF WORK (TYP) =84.81- CONTRACTOR TO INSTALL RIPRAP CONTRACTOR TO -N.T.S. DITCH PER ORIGINAL PLAN CONTRACTOR SHALL OUTLET PROTECTION, EMBEDDED INSTALL/REFRESH 20'-0" SS=2:1 NOT REMOVE ANY =84.86,~ 18" UNDER FILTER FABRIC - WALL REPLACEMENT WIDE GRAVEL ACCESS W=2 FT MATURE VEGETATION (SEE SHEET S2) FROM WALL TO RISER La=35' D=1.97 FT STRUCTURE S=4.5% W=20'TOP OF WALL d50=10' TOP OF WALL -=69.92 REMOVE ALL VEGETATION TOP OF WALL -=87.51 TOP OF WALL -TOP OF WALL WITHIN 10' OF RISE AND ALL(12) =86.18 =88.65 POND INFLOW AND OUTFLOW THE THE PART OF TH - EX. RISER STRUCTURE TOP OF WALL SLOPED GRATE REMOVE ANGLED TOP AND RESET :=88.77: $\binom{2}{2}$ LOWER RIM= $\frac{76.61}{6}$ 74.00 (SEE DETAILS SHEET C3) -TOP WIDTH=15.0'± OF DRAINAGE ' +NV +N=69.96 (6"PVC) INV IN=69.25 (6"PVC) OF WORK (TYP) WALL A =87.46 =89.90 INV IN=66.0± (6"DIP) CLOSE EXISTING VALVE E\ESTABLÌSHED\\ LIMITS OF WORK (TYP) OF WAY WITHIN INV OUT=65.86 CONTRACTOR SHALL CENTER=65.71 ESS EASEMENT. NOT REMOVE ANY RIPRAP NY DAMAGE TO CONTRACTOR TO REPAIR SUBSIDENCE AROUND MATURE VEGETATION APRON - WETLAND BUFFFR AREA MAGED DUE TO REMOVE MATTING, RISER, REGRADE, AND COMPACT (ADD RIPRAP SOIL AROUND RISER AFTER IMPROVEMENTS. ICTION ACCESS TOP SOIL AND SEED CHECK DAM CONTRACTOR TO CHECK FOR AND REPAIRS LEAKS AREAS OF STEEP SLOPE - TOP OF WALL PER VESCH 3.20) (SEE DETAILS ON SHEET C3) =69.78 3'WIDE REMOVE MATTING STONE GABION CONTRACTOR TO ESTABLISH VEGETATION ON 2. TOP SOIL AND SEED TOP=66.5± (PS) EXISTING SLOPES. AREA SHALL BE TOP SOILED AREAS OF STEEP SLOPE $(sF)\langle 1$ AND SEEDED AND MATTING SHALL BE REMOVED 20'x20' RIPRAP LINED IN ACCORDANCE WITH GENERAL NOTE 12 ON 42"RCP OUTFALL EMERGENCY SPILLWAY SHEET CO. GENERAL REPAIR NOTES: INV=63.65 ELEV=76.0± . INSTALL/REPAIR SILT FENCE DOWNSTREAM OF ANY LAND MAXIMUM POND VOLUME=456,552 453,131 C.F. NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING DISTURBANCE. PERMANENT POOL ELEVATION=69.5 CONTRACTOR TO EXTEND RIPRAP ALL EXISTING EROSION AND SEDIMENT CONTROL MEASURES BOTTOM OF POND ELEVATION=61.00 LINED SPILLWAY APPROX. 5-FT TOP OF DAM (APPROX)=77.40 TO EDGE OF CLEARING. RIPRAP REMOVE ALL VOLUNTEER VEGETATION ON THE DAM EMBANKMENT. IN AND AROUND THE POND. 1 YR W.S.EL. = 74-18 74.27 TOP OF WALL SHALL BE EMBEDDED 18" OVER WITHIN 10' DIAMETER OF ANY INFLOW AND OUTFLOW 2 YR W.S.EL. =74.69 74.78 FILTER FAERIC. =69.69 STRUCTURES, AND LOCATED ALONG THE LENGTH OF THE 10 YR W.S.EL.=75.84 **75.73** RETAINING WALL, REGRADE AND APPLY PERMANENT SEEDING AS 100 YR W.S.EL.=76.74 **76.66'** - 5" FREEBOARD PROVIDED TEMPORARY SPOILS SHALL BE PLACED WITHIN NECESSARY TO STABILIZE DISTURBED AREAS IN ACCORDANCE 100 YR VOLUME=412,876 **395,353** C.F. EXISTING CLEARING TO WITH GENERAL NOTE 12 ON SHEET CO. TOTAL AREA=51,112 S.F. (AT ELEVATION 78.00) 17'x17' RIPRAP -BE REVISED. EXCESS (AS-BUILT ELEVATIONS PER AES ROUTING 2023) APRONMATERIAL SHALL BE POND SHOULD BE DEWATERED IN ACCORDANCE WITH THE VESCH HAULED OFFSITE. r-6" PVC & 6" DIP NOTE: ROUTINGS ARE BASED UPON CURRENT AS-BUILT VOLUMES STANDARD (3.26). **DEWATERING** AND HAVE BEEN RUN USING ORIGINAL DESIGN METHODOLOGY 48"RCP OUTFALL PIPES INV=64.87 LIMITS OF WORK (TYP) REMOVE ANY ACCUMULATED SEDIMENT, TRASH, OR DEBRIS FROM COÑTRACTOR SHÀLL BOTTOM ON POND AND REESTABLISH BOTTOM ELEVATION AT NOT REMOVE ANY - TOP OF WALL WETLAND BUFFER AREA MATURE VEGETATION 64.0±. =69.64 TOP OF WALL CONTRACTOR TO REMOVE ALL EXISTING 4 FT DECORATIVE FENCE =69.72 AND REPLACE WITH 6 FT FENCE AS NOTED ON SHEET S1. ONCE SITE IS STABILIZED, REMOVE ANY SILT FENCE FROM THE SITE INCLUDING NEWLY INSTALLED AND SILT FENCE INSTALLED EXISTING GROUND-WITH ORIGINAL CONSTRUCTION. (2) ELEV.=68.50 ┌-6" PVC & 6" DIP WALL B (1) ELEV.=68.30 DEWATERING CONTRACTOR TO REMOVE FILTER FABRIC FROM PRINCIPAL LIMITS OF WORK (TYP) SPILLWAY. CONTRACTOR SHALL NOT REMOVE ANY =97.10\ 8. NO EXTERIOR LIGHTING OR SIGNS ARE PROPOSED. MATURE VEGETATION (2) ELEV.=67.00 \ TOP OF WALL -WETLAND BUFFER AREA (1) ELEV.=66.80 9. NO TEMPORARY OR PERMANENT SOIL STOCKPILES ARE =97.43 4"-3,000 PSI PROPOSED. ALL EXCESS FILL & EXCESS MATERIAL TO BE CONCRETE HAULED OFFSITE MICRO-POOL 10. AREAS OF 2:1 OR STEEPER SLOPES MUST BE STABILIZED WITH EC-2 MATTING. =97.28 =96.26LEGEND: POND ACCESS FROM REPRESENTS ACTION ITEM ADDRESSED IN RELATION TO LINE **TRAILVIEW** ITEM NO. DENOTED IN JCC SRP LETTER DATED 8/1/2022 CONTRACTOR TO INSTALL/REFRESH 12' WIDE GRAVEL ACCESS TO NEW WALL STRUCTURE. GRAVEL ACCESS FROM WALL TO RISER STRUCTURE TO BE INSTALLED TO Large/Small Plat(s) Recorded - WETLAND BUFFER AREA herewith as # <u>20231334</u> City of Williamsburg & County of James City C.F Elizabeth E. O'Connor GRAPHIC SCALE CONSTRUCTION ACCESS TO BE ESTABLISHED FROM TRAILVIEW RIGHT OF WAY WITHIN EXISTING 50-FT BMP ACCESS EASEMENT. SCALE: 1'' = 30'REPAIRS PER JCC COMMENT CURB OR SIDEWALK DAMAGED DUE TO WALL C CASEY BOULEVARD LETTER DATED 8/1/22 CONSTRUCTION ÀCCESS REF: JCC SP-74-06 BMP PC-258 RECORD DRAWING - 8/14/08



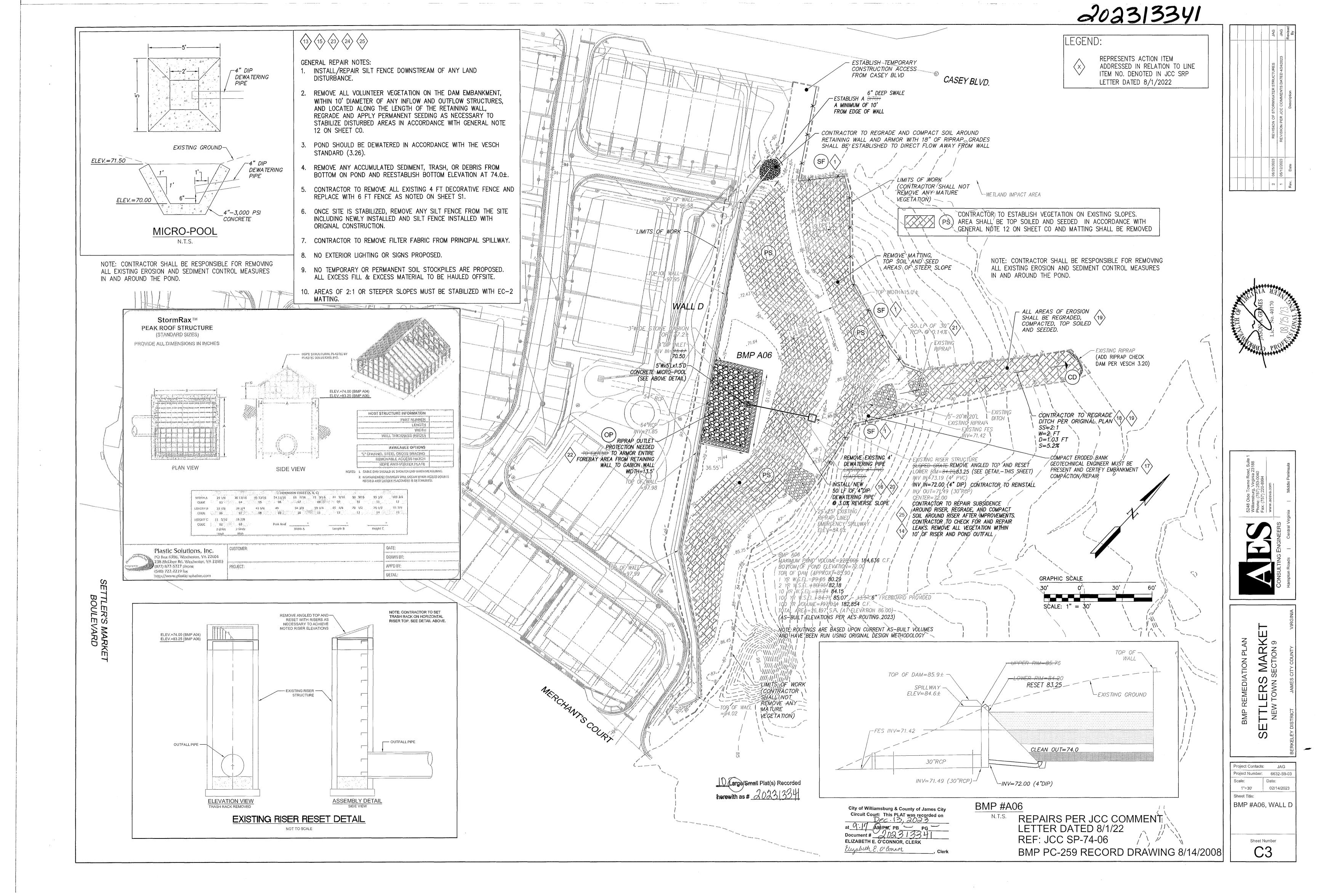




MARKE SECTION 9 ERS TOWN S S

Project Contacts: Proiect Number: 6632-S9-03 Scale: Date: 1"=30' 02/14/2023 Sheet Title: BMP #A04, WALLS A, B, & C

Sheet Number



SG

ETTER'S I

GENERAL NOTES I. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: A. THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC); 2018 EDITION B. THE INTERNATIONAL BUILDING CODE (IBC); 2018 EDITION AS AMENDED BY THE VUSBC. C. THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-16. D. ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. 2. DESIGN LOADS: A. SOIL UNIT WEIGHT B. LIVE LOADS: UNIFORM CONCENTRATED VEHICULAR DRIVEWAYS/YARDS_ _250 PSF HANDRAILS & GUARDRAILS 50 PLF 200 LBS 3. THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK. 4. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COSTS TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION. 5. CONTRACTOR SHALL NOTIFY "MISS UTILITY OF VIRGINIA" PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. 6. UNLESS NOTED OTHERWISE, ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS THROUGH THE RETAINING WALL. STEP FOOTINGS WHERE REQUIRED. DEMOLITION PROVIDE ADEQUATE SHORING, BRACING, AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS, DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. 9. CONTRACTOR SHALL DECONSTRUCT THE EXISTING RETAINING WALL AS DENOTED ON THE SITE PLAN AND WALL PROFILES, EXISTING MODULAR CONCRETE UNITS REMOVED SHALL BE STORED AS NECESSARY FOR REUSE TO CONSTRUCT THE PROPOSED LOWER RETAINING WALL REMEDIAL REPAIRS. RETAINING WALL 10. THE ELEVATIONS DELINEATED ON THE SITE PLAN HAVE BEEN BASED ON THE SITE LAYOUT DENOTED ON THE BMP A-04 RECORD DRAWING PREPARED BY AES CONSULTING ENGINEERS UNDER PROJECT NO. 6632-9-015 & DATED AUGUST 14, 2008. II. FOOTINGS WERE DESIGNED TO BEAR ON UNDISTURBED SOIL A MINIMUM OF 3-8" BELOW GRADE UNLESS NOTED OTHERWISE AND WITH A MAXIMUM SOIL BEARING PRESSURE OF 2,000 PSF. THE OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO VERIFY THAT THIS ALLOWABLE SOIL BEARING PRESSURE IS ATTAINABLE. IF THIS IS NOT ATTAINABLE, THE OWNER/CONTRACTOR SHALL CONTACT ENGINEER FOR REDESIGN. 12. FOOTINGS FOR RETAINING WALLS SHALL BE 12" THICK COMPACTED NO. 21A CRUSHED STONE FULLY WRAPPED IN NON-WOVEN FILTER FABRIC. 13. BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL, UNLESS NOTED TO BE STONE. 14. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 25 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE SM OR BETTER WITH MINIMUM FRICTION ANGLE OF 30 DEGREES OR NO. 57 STONE. 15. CHIMNEY DRAIN ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALL SHALL BE A MINIMUM OF 12" WIDE NO. 57 STONE WRAPPED IN NON-WOVEN FILTER FABRIC. I6. DRAIN PLACED ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALL SHALL BE A MINIMUM 4" DIAMETER PERFORATED ASTM D3034 PVC DRAIN PIPE WRAPPED IN NON-MOVEN FILTER FABRIC. SLOPE DRAIN TO THROUGH WALL WEEPS AT 50'-O" ON CENTER MAXIMUM AND/OR DAYLIGHT. 17. ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALL, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALL, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD. 18. MODULAR CONCRETE UNIT RETAINING WALL BLOCK SHALL BE ANCHOR VERTICA RETAINING WALL BLOCK, COLOR TO MATCH EXISTING RETAINING WALL TO EXTENT POSSIBLE. FOLLOW INSTALLATION INSTRUCTIONS PROVIDED BY MANUFACTURER. WHERE MANUFACTURER'S INSTRUCTIONS DIFFER FROM CONSTRUCTION DRAWINGS, BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION. 19. ALL GEOGRID REINFORCEMENT TO BE MIRAGRID 3XT / 5XT SERIES MANUFACTURED BY TENCATE GEOSYNTHETICS. LENGTH OF GEOGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOGRID SHALL BE PULLED TAUGHT AND PINNED PRIOR TO BACKFILLING. 20. PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE AT ANY POINT WITHIN 36" OF OPEN EDGE. THEREFORE, GUARD RAILING AND/OR FENCING SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE AS REQUIRED BY THE

LOCALITY.

MISCELLANEOUS:

APPROX.

CONC.

DIA.

ELEY.

MAX.

LEGEND

21. RETAINING WALL MINIMUM DESIGN SAFETY FACTORS: A. OVERTURNING - 2.0 B. SLIDING - 1.5

22. THE OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO INSTALL, MAINTAIN, AND MONITOR

INCLINOMETERS SHALL BE INSTALLED AT A MAXIMUM OF 100'-0" ON CENTER ALONG THE TOP

OF THE RETAINING WALL, UNLESS NOTED OTHERWISE. ACTUAL LOCATION OF INCLINOMETERS

ABBREVIATIONS

O.C. REINF.

RW

STA TYP. ON CENTER

TYPICAL

REINFORCEMENT

RETAINING WALL STATION

UNLESS NOTED OTHERWISE

INCLINOMETERS TO OBSERVE AND RECORD THE BATTER OF THE RETAINING WALL

BY A GEOTECHNICAL ENGINEER BASED ON SITE CONDITIONS.

APPROXIMATE

CONCRETE

DIAMETER

ELEVATION

EXISTING

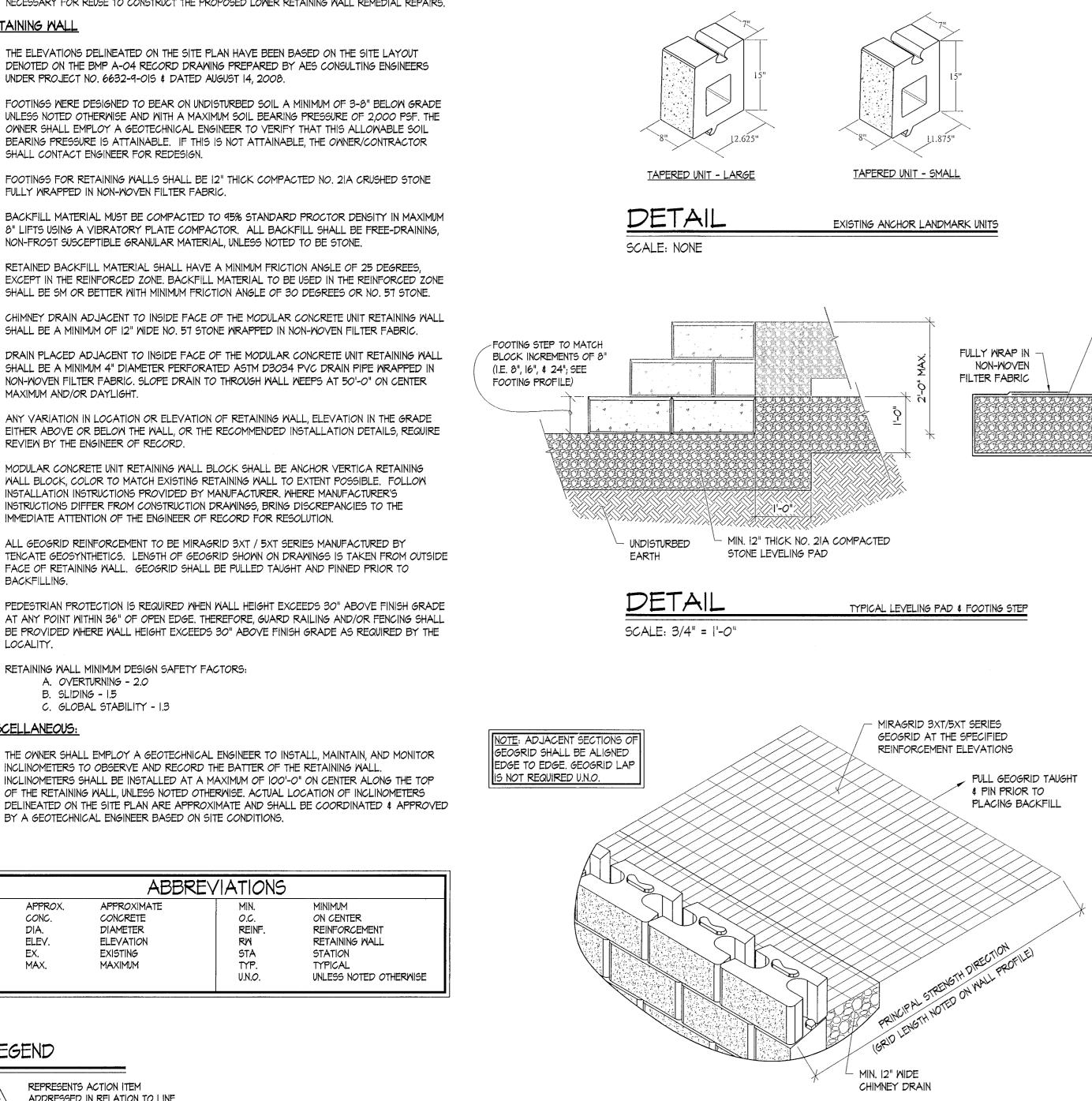
MAXIMUM

REPRESENTS ACTION ITEM

LETTER DATED 8/I/2022

ADDRESSED IN RELATION TO LINE ITEM NO. DENOTED IN JCC SRP

C. GLOBAL STABILITY - 1.3



DETAIL

SCALE: 3/4" = 1'-0"

VERTICA UNIT

DETAIL

STRAIGHT UNIT - LARGE

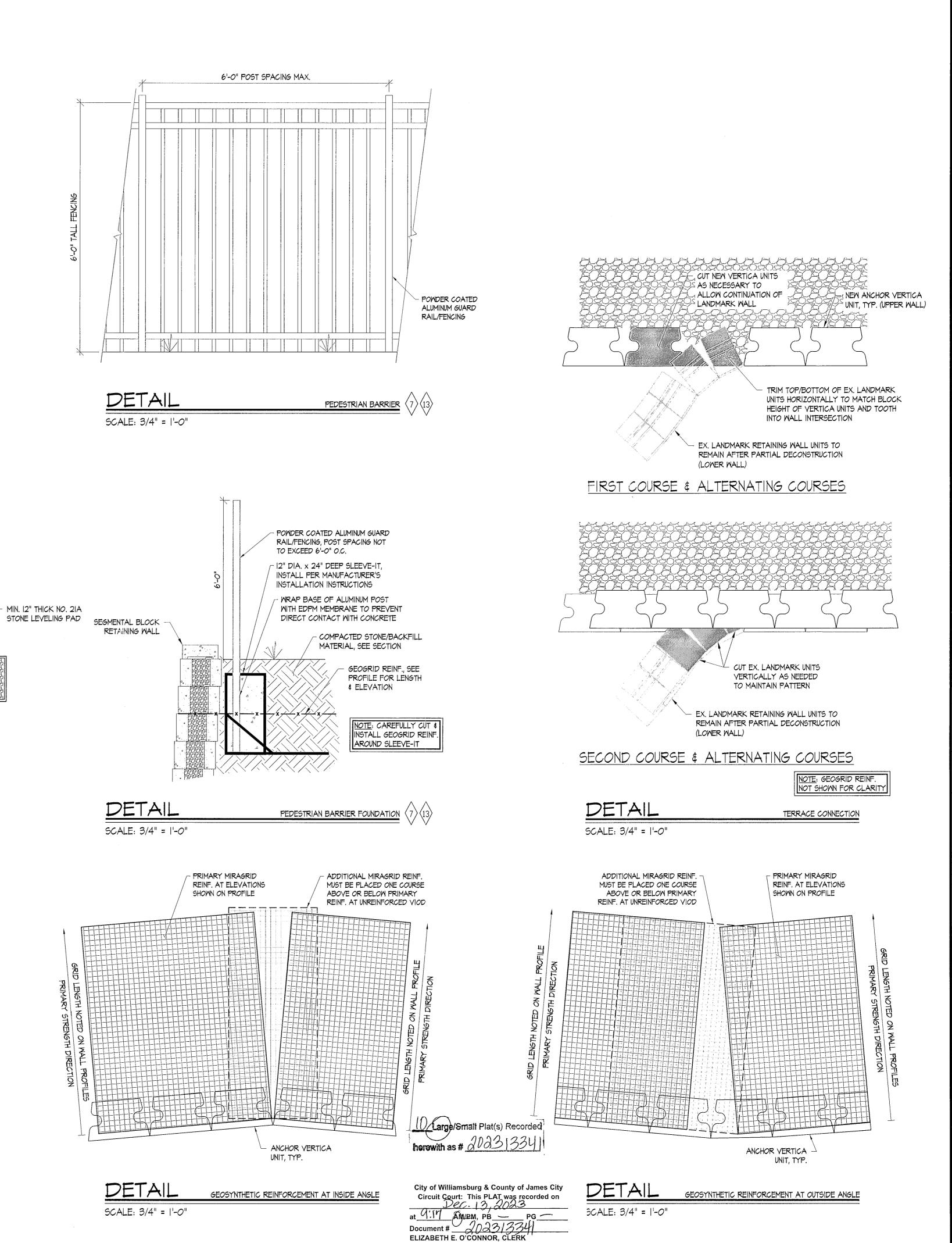
SCALE: NONE

CAP BLOCK

TYPICAL ANCHOR VERTICA UNITS

STRAIGHT UNIT - SMALL

GEOSYNTHETIC REINFORCEMENT



Elizabeth E. O'Connor

202313341 PROPERTY OWNER: NEW TOWN ASSOCIATES LLC PARCEL ID: 3820100014 PROPERTY LINE 580'-0" LONG RECONSTRUCTED RETAINING WALL, OFFSET ± 5'-0" FROM EX. RETAINING WALL - 20'-0" WIDE ACCESS \$
VARIABLE WIDTH BMP
MAINTENANCE EASEMENT WALL A 577'-O" PORTION OF EX.
RETAINING WALL TO BE
PARTIALLY DECONSTRUCTED PROPERTY OWNER: ME SETTLERS LLC PARCEL ID: 3843500001A START OF PARTIAL DECONSTRUCTION OF EX. RETAINING WALL MONITOR EX. VARIABLE WIDTH BMP A04 BULGES IN WALL PROPERTY OWNER: CPT SETTLERS MARKET LLC PARCEL ID: WALL - EX. LOWER RETAINING MALL TO REMAIN (WALL "A") NOTE: - IT SHOULD BE NOTED THAT THE EXISTING RETAINING WALLS A & B PORTION OF EX. UPPER RETAINING WALL TO REMAIN NOTES: - "MONITOR EX. BULGE IN WALL" INDICATES LOCATIONS WHERE RETAINING WALL HAS ILLUSTRATED A LOCAL PROPERTY OWNER: NEW TOWN ASSOCIATES LLC WERE IN PLACE PRIOR TO JAMES CITY COUNTY ORDINANCE TOWNHOUSE SECTION 23-9.1, TITLED PERFORMANCE STANDARDS FOR PARCEL ID: 3820100014 NOTES: - REMOVE ALL VOLUNTEER VEGETATION BUILDING V MONITOR EX. RETAINING WALLS, AND ENACTED MAY II, 2021. BULGE, BUT REMAINS WITHIN THE DESIGN BATTER OF 4° BULGE IN WALL - THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO ON RETAINING WALL A & B (APPROX. 1,510'-0' OF LENGTH) (±2°). THESE WALL LOCATIONS SHALL BE MONITORED BY THE INSTALLATION OF AN ADDITIONAL MAINTENANCE AND REMEDIAL REPAIRS OF THE EXISTING INCLINOMETER. RETAINING WALLS AND BMP STRUCTURES. DESIGN BATTER OF 4° (±2°) TO BE INSTALLED WITH INCLINOMETERS (\odot) AT 100'-0" O.C. MAX. TO MONITOR BATTER CHANGES IN RETAINING WALL BATTER. REMOVE 1510'-0"± OF EX.

4'-0" TALL FENCING &
REPLACE WITH 6'-0" TALL
FENCING ALONG TOP OF
RETAINING WALL - MONITOR EX. BULGES IN WALL - EX. RETAINING WALL (MALL "B") MULTI-UNIT -BUILDING / BULGES IN WALL MONITOR EX. MULTI-UNIT BULGE IN WALL APPROX. LOCATION OF INCLINOMETER, TOWNHOUSE / PROPERTY OWNER: INSTALL INCLINOMETERS @ 100'-0" O.C. BUILDING / ME SETTLERS LLC MAX. \$ WALL BULGES (TOTAL OF 12 INCLINOMETERS ALONG WALL) PARCEL ID: 384350000IA MULTI-UNIT TOWNHOUSE WALL B MULTI-UNIT TOWNHOUSE PROPERTY OWNER: CPT SETTLERS MARKET LLC PARCEL ID: 384330000IF REPRESENTS ACTION ITEM ADDRESSED IN RELATION TO LINE ITEM NO. DENOTED IN JCC SRP EXISTING 30'-0" LONG x I'-0" WIDE x 8" DEEP EROSION CHANNEL ALONG TOE OF RETAINING WALL; RE-ESTABLISH GRADE ALONG TOE OF RETAINING WALL WITH COMPACTED FILL & INSTALL I'-O" WIDE X 30'-O" LONG X 6" DEEP RIVER ROCK ENERGY DISSIPATER LETTER DATED 8/1/2022 herewith as # 202313341 MULTI-UNIT TOWNHOUSE / BUILDING / INCLINOMETER (12) TOTAL, DEPTH TO MATCH EXPOSED RETAINING WALL HEIGHT LOOSE & SHIFTED TOP BLOCK AT City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on END OF WALL TO BE REMOVED; ----- NEW 6'-O" TALL FENCING RE-INSTALL CAP AT LOCATION OF REMOVED TOP BLOCK Document # 2022/334/ ELIZABETH E. O'CONNOR, CLERK SITE LAYOUT & GRADING PLAN Elizabeth E. O' Connor SCALE: |" = 30'-0"

202313341 LEGEND MIN. EMBED 1'-0" 3'-8" MIN. EMBED EXTENT OF EX. NOTE: PEDESTRIAN BARRIER NOT SHOWN FOR CLARITY RETAINING WALL TO REMAIN TOP OF WALL ELEV. = 94.92 - APPROX. FINISH GRADE ALONG REAR FACE OF WALL - 8" STEP, TYP. 4" CAP 19'-0" GRID 17'-0" GRID TOP OF WALL
ELEV. = 88.92' 8" FOOTING STEP, TYP. U.N.O. TOP OF EX. RETAINING
WALL TO REMAIN AFTER
PARTIAL DECONSTRUCTION 2'-0 MAX" -FOOTING STEP, TYP. EXTENT OF EX. -RETAINING WALL TO REMAIN APPROX. EXTERIOR FINISH GRADE ALONG FRONT FACE OF WALL MIN. 12" THICK NO. 21A -COMPACTED STONE LEVELING PAD THROUGH WALL DRAINS @ 50'-0" O.C. MAX TOP OF FOOTING ELEV. = 71.25 NOTE: POOL LEVEL TO BE LOWERED BY GENERAL CONTRACTOR AS STA = 10+C START OF 1 REMEDIAL 1 NEEDED FOR CONSTRUCTION STA = 11+4 MATCH LIN 10+2510+50 10 + 7510+00 11+00 11 + 25MALL PROFILE HORIZ. SCALE: |" = 6'-0", VERT. SCALE: |" = 3'-0"

SG

Large/Small Plat(s) Recorded herewith as # 20231334

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on

at 1 AM/PM, PB PG

Document # AD 31344

ELIZABETH E. O'CONNOR, CLERK

Elizabeth & O'Connor , Clerk

MIN. EMBED 3'-8" MIN, EMBED NOTE: PEDESTRIAN BARRIER NOT SHOWN FOR CLARITY TOP OF WALL ELEV. = 88.92 APPROX. FINISH 17'-0" GRID | 14'-0" GRID GRADE ALONG REAR APPROX. EXTERIOR —
FINISH GRADE ALONG
FRONT FACE OF WALL MIN. 12" THICK NO. 21A -COMPACTED STONE LEVELING PAD TOP OF FOOTING ELEV. = 71.25' EXTENT OF EX. 4" DIA. PVC DRAIN TILE RETAINING WALL. TO REMAIN THROUGH WALL DRAINS @ 50'-0" O.C. MAX PERMANENT POOL LEVEL ELEV. = 69.50' NOTE: POOL LEVEL TO BE LOWERED BY GENERAL CONTRACTOR AS NEEDED FOR CONSTRUCTION 11 + 5011 + 7512 + 0012 + 2512+50 12 + 75MALL PROFILE at 0'.11 AM/PM; PB PG

Document # 2023 133 4 HORIZ. SCALE: I" = 6'-0", VERT. SCALE: I" = 3'-0" ELIZABETH E. O'CONNOR, CLERK Elizabeth E. O'Connor MIN. EMBED MIN. EMBED NOTE: PEDESTRIAN BARRIER NOT SHOWN FOR CLARITY TOP OF WALL ELEV. = 86.92 APPROX. FINISH GRADE ALONG REAR FACE OF WALL APPROX. EXTERIOR MIN. 12" THICK NO. 21A $^{-1}$ TOP OF FOOTING ELEV. = 71.25' FINISH GRADE ALONG COMPACTED STONE
LEVELING PAD EXTENT OF EX. -FRONT FACE OF WALL RETAINING WALL .. TO REMAIN THROUGH WALL DRAINS 4" DIA. PVC -DRAIN TILE @ 50'-0" O.C. MAX NOTE: POOL LEVEL TO BE LOWERED BY GENERAL CONTRACTOR AS NEEDED FOR CONSTRUCTION 13+00 13 + 2513 + 5013 + 7514+00 14 + 25WALL PROFILE HORIZ. SCALE: |" = 6'-0", VERT. SCALE: |" = 3'-0"

LEGEND

EXTENT OF EX.

RETAINING WALL TO REMAIN

202313341 LEGEND MIN. EMBED 3'-8" 1'-0" MIN. EMBED EXTENT OF EX. RETAINING WALL NOTE: PEDESTRIAN BARRIER NOT SHOWN FOR CLARITY TO REMAIN TOP OF WALL ELEV. = 86.92 14'-0" GRID | 12'-0" GRID APPROX. FINISH GRADE ALONG REAR FACE OF WALL TOP OF WALL ELEV. = 78.25 MIRAGRID 3XT - 9.00 ft TOP OF EX. RETAINING WALL TO REMAIN AFTER PARTIAL DECONSTRUCTION SG APPROX. EXTERIOR MIN. 12" THICK NO. 21A TERRACE CONNECTION, 4" DIA. PVC TOP OF FOOTING ELEV. = 71.25 COMPACTED STONE SEE DETAIL SHEET SI FINISH GRADE ALONG EXTENT OF EX. LEVELING PAD FRONT FACE OF WALL RETAINING WALL TO REMAIN THROUGH WALL DRAINS @ 50'-0" O.C. MAX PERMANENT POOL LEVEL ELEV. = 69.50' NOTE: POOL LEVEL TO BE LOWERED BY GENERAL CONTRACTOR AS NEEDED FOR CONSTRUCTION 14+50 14+75 15 + 0015 + 2515 + 5015 + 75MALL PROFILE HORIZ. SCALE: I" = 6'-0", VERT. SCALE: I" = 3'-0" REINFORCED BACKFILL 4" ANCHOR -CAP UNIT COMPACTED 95% OF MAXIMUM 6'-0" TALL PEDESTRIAN BARRIER, SEE DETAIL STANDARD PROCTOR DENSITY ON SHEET SI TOP OF WALL ELEV. = 90.92' 9/16" SETBACK 12" WIDE NO. 57 STONE CHIMNEY DRAIN WRAPPED IN NON-MOVEN FILTER FABRIC EX. ANCHOR LANDMARK -RETAINING WALL TO BE DECONSTRUCTED VERTICA UNIT, TYP. 16'-3" MAX. EXPOSED WALL HEIGHT 19'-0" MIRAGRID 5XT ELEV. = 81.92' REINFORCED BACKFILL COMPACTED 95% OF MAXIMUM STANDARD PROCTOR DENSITY 6'-0" TALL PEDESTRIAN 19'-0" MIRAGRID 5XT ELEV. = 79.92' - EX. NATURAL EARTH BARRIER, SEE DETAIL OR COMPACTED ON SHEET SI BACKFILL MATERIAL - EX, NATURAL EARTH TOP OF WALL ELEV. = 78.92' ETTER'S MARK REMEDIATION OR COMPACTED BACKFILL MATERIAL 4" DIA. PERFORATED PVC 100-YEAR STORM WATER LEVEL ELEV. = 78.02' DRAIN PIPE WRAPPED IN 19'-0" MIRAGRID 5XT ELEV. = 17.92' 9-0" MIRAGRID 5XT ELEV. = 77.92' NON-MOVEN FILTER FABRIC, 100-YEAR STORM
WATER LEVEL
ELEV. = 78.02' SLOPE 1/8" PER 1'-0" 9-0" MIRAGRID 5XT ELEV. = 77.25' ANCHOR -COMPACTED NO. 57 VERTICA UNIT, TYP. MIN. 2" DIA. WEEPS @ 50'-0" O.C. MAX. STONE BETWEEN EX. \$ 6'-3" MAX. 19'-0" MIRAGRID 5XT ELEV. = 75.92' NEW RETAINING WALL EXPOSED WALL HEIGHT 10 Large/Small Plat(s) Recorded herewith as # 2023 133 41 SETBACK I'-O" MIN. -EMBEDMENT EX. ANCHOR LANDMARK RETAINING WALL TO REMAIN S COMPACTED NO. 57 STONE
SBACKFILL WRAPPED IN NON-WOVEN TOP OF FOOTING ELEV. = 73.25' 答 SPACE ONE (I) 4" DIA. PERFORATED PVC DRAIN FILTER FABRIC, EXTEND UP TO 100 3'-8" MIN. COURSE APART PIPE WRAPPED IN NON-MOVEN YEAR STORM WATER ELEVATION MIN. EMBEDMENT U.N.O. FILTER FABRIC, SLOPE 1/8" PER 1'-0" 2'-0" TOP OF FOOTING ELEV. = 71.25' COMPACTED NO. ET CTONE

EV. IT! O'L ONG GEOGRID PEINE T City of Williamsburg & County of James City MIN. 12" THICK COMPACTED NO. 21A STONE LEVELING PAD WRAPPED IN NON-WOVEN FILTER FABRIC EX. 17'-0" LONG GEOGRID REINF. TO BE EXTENDED - COMPACTED NO. 57 STONE PERMANENT POOL LEVEL ELEV. = 69.50' $\mathbf{\Pi}$ BACKFILL WRAPPED IN THROUGH NEW RETAINING WALL, INSTALL (1) COARSE - MIN. 12" THICK COMPACTED NO. 21A Elizabith E. O'Connor ABOVE/BELOW PRIMARY REINFORCING FOR NEW WALL AS NON-MOVEN FILTER FABRIC, STONE LEVELING PAD WRAPPED IN EXTEND UP TO 100 YEAR STORM NECESSARY TO AVOID GRID OVERLAP NON-WOVEN FILTER FABRIC WATER LEVEL ELEVATION MIN. NOTE: ROLL BACK EX. GEOGRID REINF. WITHIN NOTE: POOL LEVEL TO BE LOWERED LOWER SECTION OF RETAINING WALL TO REMAIN SECTION SECTION BY GENERAL CONTRACTOR AS TO ALLOW CONSTRUCTION OF NEW UPPER SECTION OF RETAINING WALL. INCORPORATE EX. GEOGRID REINF. INTO NEW CONSTRUCTION NEEDED FOR CONSTRUCTION SCALE: 1/2" = 1'-0" SCALE: 1/2" = 1'-0"

