

PLANNING DIVISION

SEP 05 2023

RECEIVED

# BMP REMEDIATION PLAN FOR SETTLERS MARKET NEW TOWN SECTION 9

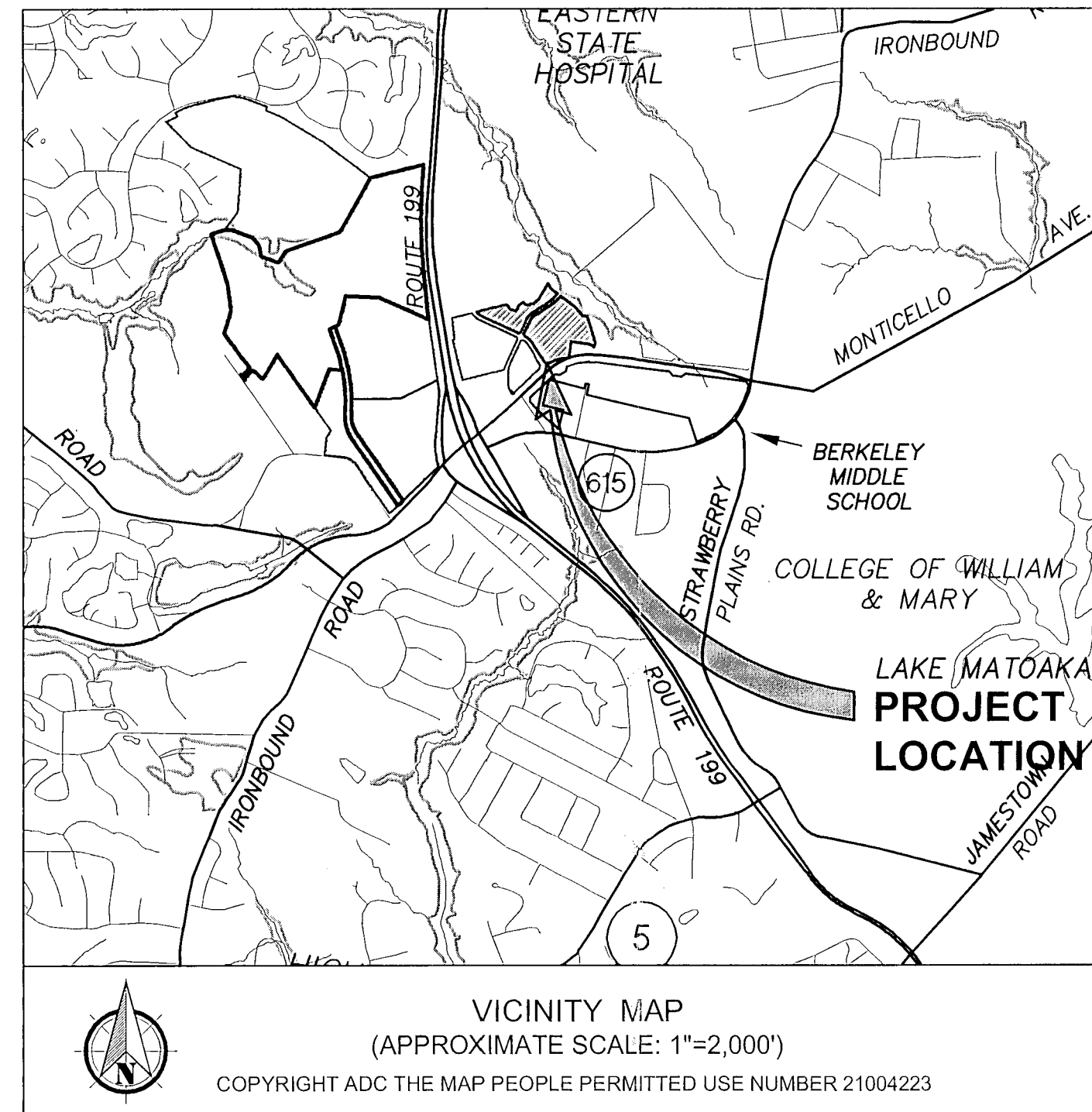
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

|   |           |
|---|-----------|
| COUNTY OF JAMES CITY<br>FINAL SITE PLAN |           |
| APPROVALS                               | DATE      |
| Fire Dept. <i>NO/3/23</i>               | 3/10/2023 |
| Health Dept.                            |           |
| VDOT                                    |           |
| Planning <i>PK 15/8/2023</i>            |           |
| BPP <i>DP/1/23</i>                      | 9/13/2023 |
| Zoning <i>CP</i>                        | 9/15/2023 |
| JCSA                                    |           |
| BSP <i>RC/3/23</i>                      | 3/3/2023  |
| HEA                                     |           |
| Landscape                               |           |
| Other                                   |           |

| Rev | Date       | Description                                |
|-----|------------|--|
| 1   | 08/17/2023 | REVISION PER JCC COMMENTS DATED 04/20/2023 |
| 2   | 08/25/2023 | REVISION OF STORMWATER STRUCTURES          |

### GENERAL NOTES:

- THIS PROPERTY IS IN FLOOD ZONE "X" AS SHOWN ON MAP NUMBERS 51095C0119C AND 51095C0138D, DATED 12/18/2015 OF THE FLOOD INSURANCE RATE MAPS FOR JAMES CITY COUNTY, VIRGINIA. ZONE "X" IS DEFINED AS AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN.
- SURVEY DATA PROVIDED BASED UPON JAMES CITY COUNTY GEODETIC CONTROL NAD-83 ESTABLISHED FROM MONUMENT 325.
- THIS SITE IS SITUATED IN POWHATAN CREEK SUB-WATERSHED 208 OF JAMES CITY COUNTY.
- ALL ERRORS OR DISCREPANCIES WITH THE PLANS OR EXISTING SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER OR SURVEYOR OF RECORD BEFORE PROCEEDING WITH THE WORK.
- CONTOUR INTERVAL IS 1 FOOT. EXISTING GRADE IS FROM SURVEY PROVIDED BY AES.
- A LAND USE PERMIT IS REQUIRED FOR ALL WORK WITHIN THE VDOT RIGHT-OF-WAY. THE CONTRACTOR SHALL NOTIFY VDOT IN WRITING 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE VDOT RIGHT-OF-WAY. THE GENERAL CONTRACTOR SHALL SECURE THIS PERMIT.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE APPROVED PLANS AT THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS UTILITY (1-800-552-7001) FOR EXISTING UTILITY LOCATIONS AT LEAST 3 WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, AND A PRIVATE UTILITY LOCATOR FOR THE LOCATING OF PRIVATE UTILITIES.
- THE CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ALL OWNERS AND RESIDENTS OF PROPERTY ADJACENT TO THE PROJECT 30 DAYS PRIOR TO THE COMMENCEMENT OF WORK, UNLESS OTHERWISE DIRECTED BY THE OWNER. CONSTRUCTION WITHIN EASEMENTS OR ON PUBLIC RIGHT-OF-WAY NECESSITATES NOTICE WHETHER ADJACENT TO OR LOCATED ON THE ADJOINING PROPERTY. FAILURE TO PROVIDE THE MINIMUM NOTIFICATION TIME WILL RESULT IN SUSPENSION OF WORK.
- THE ABSENCE OF THE OWNER OR THE ENGINEER AT THE JOB SITE DOES NOT, IN ANY WAY, RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE DRAWINGS, CONTRACT DOCUMENTS, ADDENDA, AND WRITTEN AUTHORIZED PLAN REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANYBODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE CURRENT JAMES CITY COUNTY STANDARDS AND SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, AND ANY OTHER APPLICABLE CITY OR STATE ORDINANCES, CODES, AND LAWS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK INCLUDING, BUT NOT LIMITED TO, LAND DISTURBING, BUILDING, RIGHT-OF-WAY, AND UTILITY PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION EFFORTS WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT), LOCAL EMERGENCY SERVICES, AND ALL NECESSARY UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, ELECTRICITY, NATURAL GAS, TELECOMMUNICATIONS, CABLE TELEVISION, WATER, SEWER, PRIVATE LIGHTING, AND OTHERS THAT MAY BE REQUIRED.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, AS SHOWN ON THE APPROVED PLAN.
- THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, INCLUDING SOIL AND DEBRIS, FROM THE SITE.
- THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT (SECTION 56-265.14 ET. SEQ. CODE OF VIRGINIA, 1950, AS AMENDED) AND HEREBY AGREES TO HOLD THE DEVELOPER AND THE ENGINEER HARMLESS AGAINST ANY LOSS, DAMAGE, OR CLAIMS OF ANY NATURE WHATSOEVER ARISING OUT OF THE CONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENTS OF SAID ACT.
- THE PROFESSIONAL WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR PURPOSES OF PLAN APPROVAL ONLY. PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT, THE CONTRACTOR SHALL PROVIDE THE NAME OF A "RESPONSIBLE LAND DISTURBER" WHO SHALL ASSUME RESPONSIBILITY AS THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION SHOULD THE "RESPONSIBLE LAND DISTURBER" CHANGE DURING CONSTRUCTION.
- SUBMISSION OF POST-CONSTRUCTION ASBUILTS IS REQUIRED PER THE CURRENT FINAL STORMWATER ASBUILT PROCESS.
- CCTV OF ALL ASSOCIATED PIPING IS REQUIRED PER THE CURRENT JCC CCTV GUIDANCE.
- THIS PLAN HAS BEEN APPROVED BY NEW TOWN DEVELOPMENT REVIEW BOARD ON MAY 3, 2023.
- NO EXTERIOR LIGHTING OR SIGNS ARE PROPOSED.
- NO TEMPORARY OR PERMANENT SOIL STOCKPILES ARE PROPOSED. ALL EXCESS FILL & EXCESS MATERIAL TO BE HAULED OFFSITE.



ORIGINAL COUNTY PROJECT NO.: JCC-SP-74-06  
 REMEDIATION PLAN NO.: JCC-SP-23-0015  
 AMENDED PLAN SUBMITTAL DATE: MAY 12, 2023

### SEQUENCE OF CONSTRUCTION:

- SCHEDULE AND HOLD A PRECONSTRUCTION CONFERENCE WITH JCC STORMWATER AND RESOURCE PROTECTION DIVISION. ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED.
- INSTALL CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE DOWNSTREAM OF ANY LAND DISTURBANCE.
- DE-WATER BMP A04 POND ELEVATION TO 66'-0" +/- IN ACCORDANCE TO VESCH STANDARD 3.26.
- CLEAR EXISTING VEGETATION BEHIND RETAINING WALL A AS REQUIRED TO PARTIALLY DECONSTRUCT EXISTING PORTION OF RETAINING WALL AND CONSTRUCT NEW SEGMENTAL BLOCK RETAINING WALL AS DENOTED ON SHEET S2.
- PARTIALLY DECONSTRUCT 577'-0" LENGTH OF RETAINING WALL A AT LOCATION DENOTED ON SHEET S2.
- CONSTRUCT NEW SEGMENTAL BLOCK RETAINING WALL AND GEO-GRID REINFORCING ADJACENT TO DECONSTRUCTED PORTION OF RETAINING WALL A AT LOCATION DENOTED ON SHEET S2, BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 9" LIFTS.
- DE-WATER BMP A06 POND ELEVATION TO 72'-0" +/- IN ACCORDANCE TO VESCH STANDARD 3.26.
- PREFORM SITE AND DRAINAGE REPAIRS TO BMP A04 AND BMP A06 AS DENOTED ON SHEETS C2 AND C3.
- REMOVE ALL VOLUNTEER VEGETATION FROM RETAINING WALL D AS DENOTED ON SHEET S6.
- REMOVE ALL VOLUNTEER VEGETATION FROM RETAINING WALL C AND PERFORM REPAIRS TO RETAINING WALL C AND BOX CULVERT ON CASEY BOULEVARD AS DENOTED ON SHEET S6.
- APPLY PERMANENT SEEDING AS NECESSARY TO STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH GENERAL NOTE 12 ON SHEET C0.
- REMOVE EXISTING 4'-0" TALL FENCING ALONG TOP OF RETAINING WALLS A, B, AND D ALONG BMP A04 AND BMP A06 AND REPLACE WITH NEW 6'-0" TALL FENCING.
- REMOVE DE-WATERING EQUIPMENT/ALLOW BMP A04 POND AND BMP A06 POND TO FILL TO PERMANENT POOL LEVEL.
- REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.
- PONDS SHOULD BE MONITORED THROUGHOUT CONSTRUCTION FOR EVIDENCE OF SILTATION. IF WARRANTED, PONDS SHALL BE DRAINED AND SEDIMENT REMOVED IN ACCORDANCE TO JCC ENVIRONMENTAL GUIDELINES.

### INDEX OF SHEETS:

| SHEET NO. | SHEET DESCRIPTION                      |
|-----------|--|
| C0        | COVER SHEET                            |
| C1        | JAMES CITY COUNTY COMMENTS             |
| C2        | BMP #A04, WALLS A, B, & C              |
| C3        | BMP #A06, WALL D                       |
| S1        | GENERAL NOTES & TYPICAL DETAILS        |
| S2        | BMP A04 SITE LAYOUT & GRADING PLAN     |
| S3        | RETAINING WALL PROFILES                |
| S4        | RETAINING WALL PROFILES & SECTIONS     |
| S5        | RETAINING WALL PROFILES & SECTIONS     |
| S6        | BMP A06 SITE LAYOUT & RETAINING WALL C |

### OWNER/DEVELOPER INFORMATION:

CONTACT: NATASCHA BONDAR-ESTRELLA, PROPERTY MANAGER  
 MADISON MARQUETTE  
 1615 S CONGRESS AVE, SUITE 103  
 DELRAY BEACH, FL 33445

### SITE DATA:

SITE ADDRESS: 5225 SETTLERS MARKET BLVD  
 TAX PARCELS: 3820100014, 3843300001F, 3843500001A, 38433000002A, 3843300002F  
 PROPERTY OWNER: ME SETTLERS LLC, CPT SETTLERS MARKET LLC, NEW TOWN ASSOCIATES LLC, ME SETTLERS LLC, CPT SETTLERS MARKET LLC  
 TOTAL PARCEL AREA: 16.58 ACRES  
 ZONING: MU - MIXED USE WITH PROFFERS (Z-0016-2005 / MP-0013-2005 & Z-0003-2011 / MP-0002-2011)  
 FLOOD HAZARD MAP: THIS PROPERTY IS IN FLOOD ZONE X AS SHOWN ON MAP NUMBERS 51095C0119D AND 51095C0138D, DATED 12/18/2015 OF THE FLOOD INSURANCE RATE MAPS FOR JAMES CITY COUNTY, VIRGINIA. ZONE X IS DEFINED AS OUTSIDE THE 500-YEAR FLOOD PLAIN.

HYDROLOGIC UNIT CODE: JL31  
 Disturbed Area = 3.82 AC *per 9/14/2023*

### BENCHMARK LAND DATUM INFO:

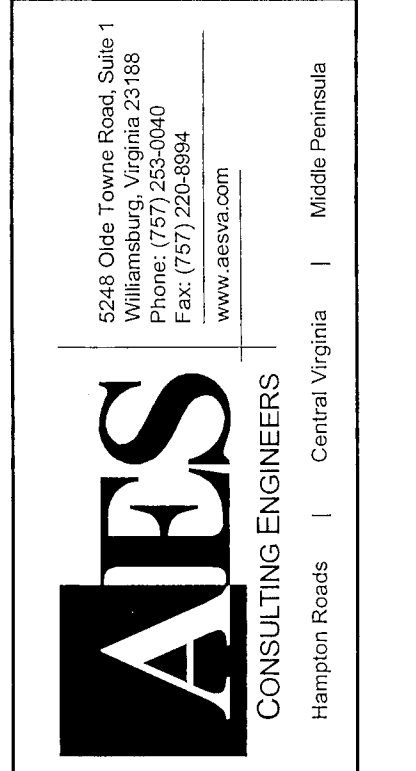
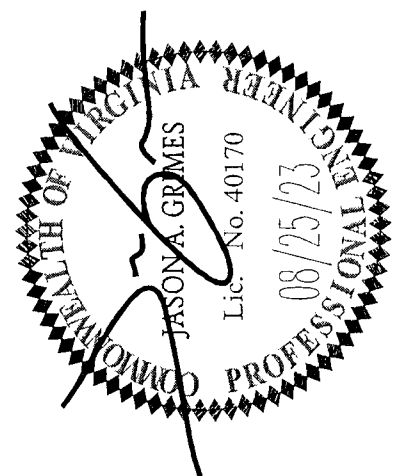
BENCHMARK: STATION NO. 325, EASTING(X) 11995286.983, NORTHING(Y) 3628200.301, ELEVATION=110.67  
 HORIZONTAL DATUM: JAMES CITY COUNTY GEODETIC CONTROL NETWORK VA STATE PLACE COORDINATE SYSTEM - SOUTH ZONE NAD 83 (1994 VA HARN)  
 VERTICAL DATUM: JAMES CITY COUNTY GEODETIC CONTROL NETWORK NGVD 29

### NOTE:

THESE PLANS ARE TO ADDRESS DEFICIENCIES IN THE EXISTING PONDS, A04 & A06 NORTH OF CASEY BOULEVARD AND SETTLER'S MARKET BOULEVARD. ANY CHANGES OUTSIDE OF THE SCOPE OF THIS BMP REMEDIATION PLAN SHALL BE COORDINATED WITH THE DESIGN ENGINEERS AND JAMES CITY COUNTY. THE POND AMENDMENTS AND CALCULATIONS PROVIDED ARE SHOWING COMPLIANCE WITH THE ORIGINAL APPROVED CONSTRUCTION DRAWINGS PREPARED BY LAI ENGINEERING, JULY 16, 2007

10 (Large) Small Plat(s) Recorded  
 herewith as # 202313341

City of Williamsburg & County of James City  
 Circuit Court: This PLAT was recorded on  
 Dec 13, 2023  
 at 9:17 AM, PG  
 Document # 202313341  
 ELIZABETH E. O'CONNOR, CLERK  
 Elizabeth E. O'Connor, Clerk



BMP REMEDIATION PLAN  
 SETTLERS MARKET  
 AT NEW TOWN  
 BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

Project Contacts: JAG  
 Project Number: 6832-S9-03  
 Scale: Date:  
 AS NOTED 02/14/2023  
 Sheet Title: COVER SHEET  
 Sheet Number: C0