

OWNER'S CONSENT & DEDICATION.
 THIS SUBDIVISION IS WITH FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.
 TITLE TO THE LAND SHOWN HEREON IS VESTED IN PROGRESSIVE CORPORATION, DIVERSE CORPORATION, NICE DEVELOPMENT CORPORATION, MARINA POINT CORPORATION, TRADING AS BEECHWOOD COMPANY BY DEED DATED JULY 9, 1984 RECORDED IN DEED BOOK 250 AT PAGE 664

IN THE CLERK'S OFFICE OF JAMES CITY COUNTY, VIRGINIA.

PROGRESSIVE CORPORATION SECRETARY
 DIVERSE CORPORATION SECRETARY
 NICE DEVELOPMENT CORPORATION SECRETARY
 MARINA POINT CORPORATION SECRETARY

STATE OF VIRGINIA
 I, _____, A NOTARY PUBLIC DO CERTIFY THAT THE PERSONS WHOSE NAMES ARE SIGNED TO THE FOREGOING WRITING HAVE ACKNOWLEDGED THE SAME BEFORE ME IN MY CITY AND STATE AFORESAID.
 GIVEN UNDER MY HAND THIS _____ DAY OF _____, 19____.
 MY COMMISSION EXPIRES _____

STATE OF VIRGINIA, COUNTY OF JAMES CITY
 IN THE CLERK'S OFFICE OF THE CIRCUIT COURT FOR THE COUNTY OF JAMES CITY THE DAY OF _____, 19____, THIS MAP WAS PRESENTED AND ADMITTED TO THE RECORD AS THE LAW DIRECTS.
 TESTE: John S. Ward, CLERK
 PLAT BOOK 39 PAGE 90

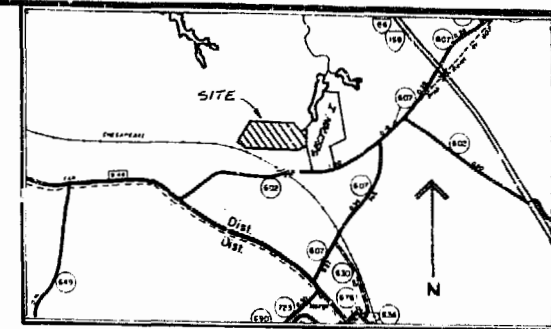
CERTIFICATE OF APPROVAL
 THIS SUBDIVISION KNOWN AS _____ IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE COMMITTED TO RECORD.
 DATE: 8/16/84 J. N. Hill HIGHWAY ENGINEER
 DATE: 8/17/84 (S. A. Y.) HEALTH OFFICER
 DATE: 8/17/84 AGENT OF GOVERNING BODY

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS & ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY HAVE BEEN COMPLIED WITH.
 GIVEN UNDER MY HAND THIS 16th DAY OF August, 1984.
 BY: Paul C. Small
 PAUL C. SMALL, P.E., C.L.S.

AREA TABULATION
 AREA OF VDHET R/W = 198,548 SQ. FT. ± = 4.5586 AC ±
 AREA OF 40 LOTS = 1,022,561 SQ. FT. ± = 23.4748 AC ±
 AREA OF BE SUBDIVIDED - SEC. 2 = 1,221,108 SQ. FT. ± = 28.0534 AC ±
 NUMBER OF LOTS = 40
 AVERAGE LOT SIZE = 25,564 SQ. FT. ± = 0.5869 AC ±
 LOT YIELD = 1.43 LOTS/GROSS ACRE
 SMALLEST LOT(S) - #'s 15,16 = 20,000 SQ. FT. ± = 0.4591 AC ±
 19,30,39 = 46,001 SQ. FT. ± = 1.0560 AC ±
 LARGEST LOT - #11

MEMORANDUM RE: ESTATES - SECTION 2

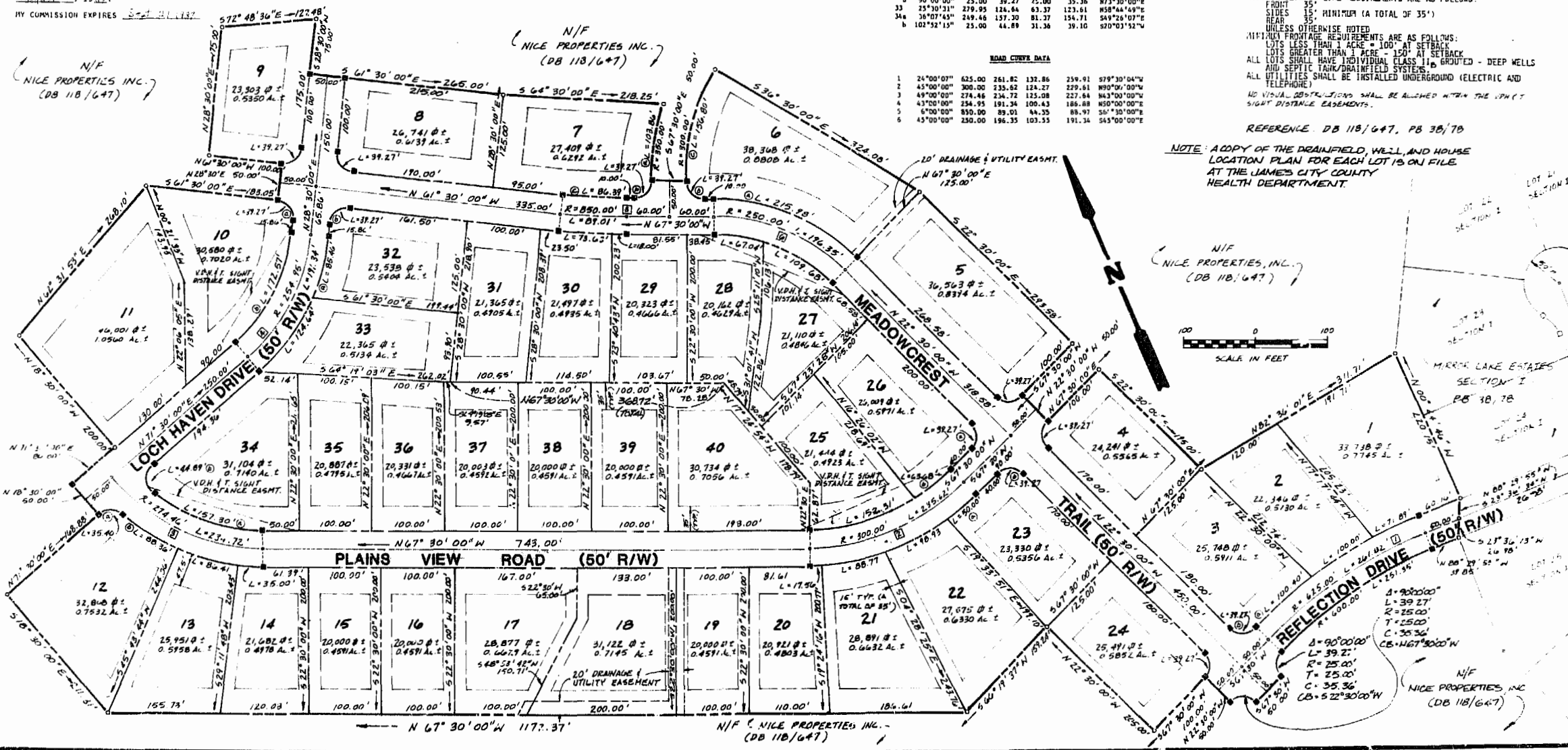
LOT#	DEPTA	RADIUS	LENGTH	TANGENT	CHORD	CURVED BEARING
1	8°50'14"	650.00	71.89	35.90	71.36	S88°19'59"W
2	8°51'00"	650.00	39.27	30.10	98.80	S22°45'24"W
3a	8°51'00"	650.00	100.40	30.30	100.30	S71°55'30"W
3b	90°00'00"	25.00	39.27	25.00	35.36	N67°30'00"W
4	90°00'00"	25.00	39.27	25.00	35.36	N22°30'00"E
5	90°00'00"	25.00	39.27	25.00	35.36	N67°30'00"E
6a	45°00'00"	275.00	215.98	113.91	810.48	N45°00'00"W
6b	90°00'00"	25.00	39.27	25.00	35.36	N22°30'00"W
7a	17°00'00"	300.25	156.70	80.23	155.02	N37°28'23"E
7b	17°00'00"	300.25	156.70	80.23	155.02	S37°28'23"E
8	90°00'00"	25.00	39.27	25.00	35.36	S67°30'00"W
9	90°00'00"	25.00	39.27	25.00	35.36	N67°30'00"W
10a	90°00'00"	25.00	39.27	25.00	35.36	S16°10'00"W
10b	90°00'00"	25.00	39.27	25.00	35.36	S64°30'00"W
11	43°00'00"	229.95	172.57	90.58	168.55	S50°00'00"W
12a	81°00'00"	25.00	35.40	21.40	32.52	S67°55'57"E
12b	16°54'32"	229.46	88.36	44.51	88.06	S35°49'04"E
13	16°51'57"	229.46	86.41	43.51	86.11	S52°32'13"E
14	6°41'47"	299.46	35.00	17.52	36.98	S64°09'06"E
16	15°18'56"	325.00	17.56	8.78	17.56	S59°02'54"E
17	15°18'56"	325.00	39.27	25.00	35.36	S22°30'00"W
22	17°26'27"	325.00	98.93	49.85	98.55	N55°02'08"E
23a	8°48'53"	325.00	50.00	25.05	49.95	N71°56'27"E
23b	90°00'00"	25.00	39.27	25.00	35.36	S67°30'00"E
24	90°00'00"	25.00	39.27	25.00	35.36	S22°30'00"W
25	31°43'59"	275.00	152.31	78.16	150.37	N83°21'59"W
26a	90°00'00"	25.00	39.27	25.00	35.36	S22°30'00"W
26b	13°18'01"	275.00	63.68	31.98	63.54	S74°08'01"W
27	27°55'44"	225.00	109.58	55.95	108.59	S36°27'52"E
28	17°04'16"	225.00	67.04	33.77	66.79	S58°57'52"E
29	1°10'43"	075.00	18.00	9.00	18.00	S66°36'36"E
30a	8°19'17"	875.00	73.63	36.84	73.61	S63°34'38"E
30b	17°39'19"	279.95	85.48	43.07	85.13	S27°11'37"E
31	90°00'00"	25.00	39.27	25.00	35.36	N73°30'00"E
32	25°30'31"	279.95	124.64	63.37	123.61	N58°44'49"E
34a	36°07'43"	249.46	157.30	81.37	154.71	S49°26'07"E
34b	102°52'15"	25.00	44.89	31.36	39.10	S27°03'52"W



LOCATION MAP
 SCALE: 1" = 1/2 MILE

GENERAL NOTES
 PROPERTY IS ZONED A-1, GENERAL AGRICULTURAL. MINIMUM LOT SIZE = 20,000 SQ. FT. MINIMUM SETBACK LINE REQUIREMENTS ARE AS FOLLOWS:
 FRONT 35'
 REAR 15' MINIMUM (A TOTAL OF 35')
 UNLESS OTHERWISE NOTED MINIMUM FRONTAGE REQUIREMENTS ARE AS FOLLOWS:
 LOTS LESS THAN 1 ACRE = 100' AT SETBACK
 LOTS GREATER THAN 1 ACRE - 150' AT SETBACK
 ALL LOTS SHALL HAVE INDIVIDUAL CLASS II GROUNDED - DEEP WELLS AND SEPTIC TANK/DRAINFIELD SYSTEMS.
 ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (ELECTRIC AND TELEPHONE).
 NO VISUAL OBSTRUCTIONS SHALL BE ALLOWED WITHIN THE 100' SETBACK DISTANCE EASEMENTS.
 REFERENCE DB 118/647, PB 38/78

NOTE: A COPY OF THE DRAINFIELD, WELL, AND HOUSE LOCATION PLAN FOR EACH LOT IS ON FILE AT THE JAMES CITY COUNTY HEALTH DEPARTMENT.



AES, a professional corporation
 1767 Jamestown Road, Williamsburg, Va. 23185
 804-253-0040
 Architecture, Engineering, Surveying, Planning

PLAT OF MIRROR LAKE ESTATES SECTION 2
 BEECHWOOD COMPANY - OWNER/DEVELOPER
 STONHOUSE DISTRICT JAMES CITY COUNTY VIRGINIA

COMMONWEALTH OF VIRGINIA
 PAUL C. SMALL
 Paul C. Small
 No. 1247
 LAND SURVEYOR

Recorded	8:30 AM
By	City of August 1984
Project No.	453
Pages	22
By	John S. Ward, Clerk
REVISION / COMMENT / NOTE	

Designed	JHB
Drawn	RMS
Scale	1" = 100'
Date	MAY 1984
Project No.	5494
Drawing No.	PLAT