

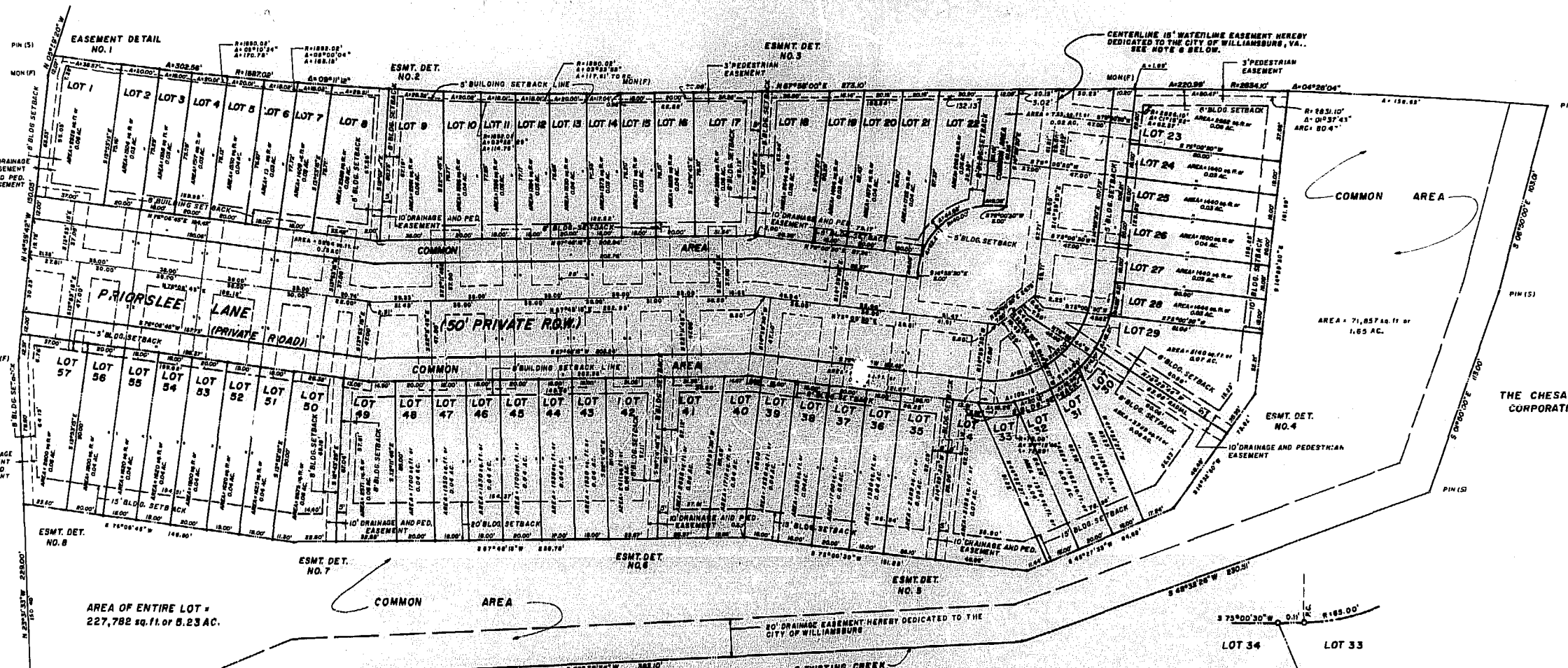
SURVEYOR'S CERTIFICATE
I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS
SUBDIVISION IS IN CONFORMANCE WITH ALL APPLICABLE CODES AND
REGULATIONS OF THE CITY OF WILLIAMSBURG.

CERTIFICATE OF APPROVAL
THIS SUBDIVISION AS SHOWN ON THIS PLAT IS APPROVED AND MAY BE COMMITTED
TO RECORD.
William A. White
FOR THE CITY OF WILLIAMSBURG, VIRGINIA (SEAL)

NOTE:
SEE SHEET 2 FOR EASEMENT DETAIL

UNITED STATES GOVERNMENT
COLONIAL NATIONAL HISTORICAL PARKWAY

MERRIMAC TRAIL RTE. 143 (160' R.O.W.)



AREA OF ENTIRE LOT = 227,782 sq. ft. or 5.23 AC.

COMMON AREA

THE CHESAPEAKE CORPORATION



NOTE:
PED = PEDESTRIAN

SOURCE OF TITLE:
THE LAND EMBRACED WITHIN THIS SUBDIVISION WAS CONVEYED TO
DANA ASSOCIATES BY DEED, RECORDED IN
DEED BOOK 62 AT PAGE 381.

OWNER'S CERTIFICATE:
THE SUBDIVISION OF LAND SHOWN ON THIS MAP IS IN ACCORDANCE WITH
THE FREE CONSENT AND DESIRES OF THE UNDERSIGNED OWNER,
Ronald C. Dana
I, *Harold G. Pantalone*, A NOTARY PUBLIC IN AND
FOR THE STATE OF VIRGINIA,
DO HEREBY CERTIFY THAT THE PERSON WHOSE NAME IS SIGNED ON THE
FOREGOING WRITING HAS ACKNOWLEDGED THE SAME BEFORE ME IN
MY CITY AND STATE AFORESAID.

GIVEN UNDER MY HAND AND SEAL THIS 22 DAY OF December
1982
MY COMMISSION EXPIRES March 4, 1985

- STREET AND COMMON AREAS OWNED AND MAINTAINED BY THE OWNERS ASSOCIATION.
- BUILDING CONSTRUCTION IS PERMITTED ONLY IN ACCORDANCE WITH CITY OF WILLIAMSBURG ORDINANCE 207 WHICH ESTABLISHES THIS PLAN AS A PLANNED UNIT DEVELOPMENT UNDER ZONING LAWS OF THE CITY OF WILLIAMSBURG.
- THE PRIVATE STREET, SIDEWALKS, DRAINAGE AND SANITARY SEWER SYSTEM, (EXCEPT THAT MAY BE CONSTRUCTED IN THE MERRIMAC TRAIL R.O.W.) AND AREAS DESIGNATED COMMON AREA ARE RESERVED AS PRIVATE WAYS AND ARE NOT OFFERED AS DEDICATION TO THE CITY OF WILLIAMSBURG.
- THERE SHALL BE NO BEDROOM OR BEDROOMS ALLOWED IN ANY BASEMENT.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THE 15' WATERLINE EASEMENT DEDICATED TO THE CITY OF WILLIAMSBURG AS SHOWN ON THIS PLAT IS RESERVED EXCLUSIVELY FOR USE BY THE CITY OF WILLIAMSBURG EXCEPT THAT OTHER UTILITIES MAY BE PLACED IN THE EASEMENT PROVIDED THE FOLLOWING CONDITIONS ARE MET:
 - NON CITY UTILITY SHALL NOT RUN PARALLEL TO EASEMENT WITHIN EASEMENT.
 - NON CITY UTILITY MAY CROSS EASEMENT IF A MINIMUM DEPTH OF 1:1' BELOW CITY WATERLINE IS PROVIDED.
 - LOCATION AND METHOD OF NON CITY UTILITY CROSSING IS SUBJECT TO CITY APPROVAL.

DANA ASSOCIATES
1915 N. MILITARY HIGHWAY
NORFOLK, VIRGINIA 23512

11:38 AM
Recorded 12 days of Jan 1983
D. No. 62 of 23
William S. Leland

LANGLEY and McDONALD
2100 PACKETS CT.
WILLIAMSBURG, VIRGINIA 23185

PLANNED UNIT DEVELOPMENT
PRIORSLEE
WILLIAMSBURG, VIRGINIA
SUBDIVISION OF
PROPERTY OF
DANA ASSOCIATES

SCALE: 1" = 30' SEPT. 15, 1982
LANGLEY and McDONALD
ENGINEERS-PLANNERS - SURVEYORS
VIRGINIA BEACH AND WILLIAMSBURG, VA. SHEET 1 OF 2