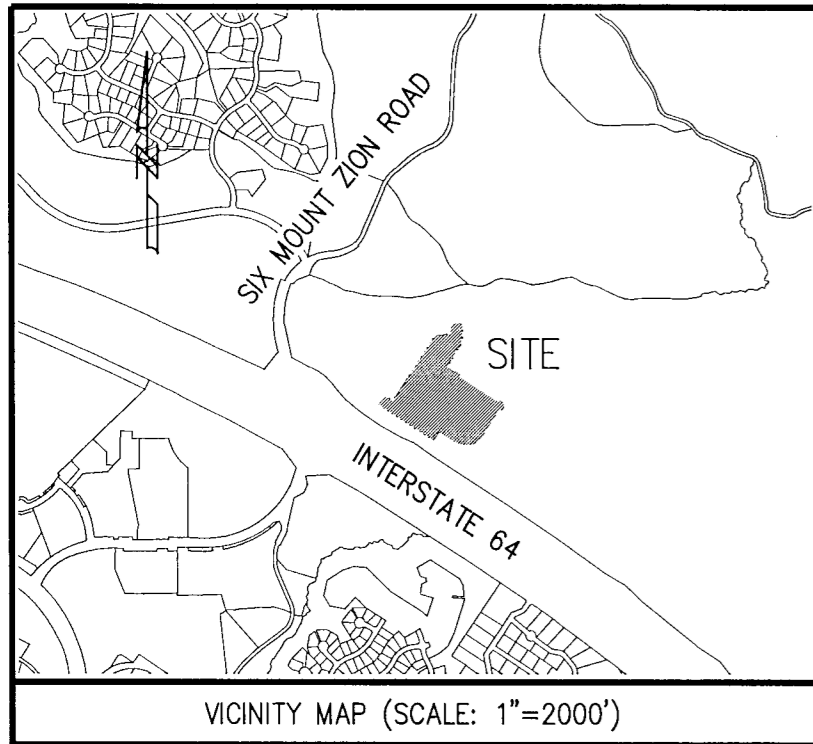


202603846



VICINITY MAP (SCALE: 1"=2000')

GENERAL PLAT NOTES

- 1. EASEMENTS DENOTED AS 'JCSA UTILITY EASEMENTS' ARE FOR THE EXCLUSIVE USE OF THE JAMES CITY SERVICE AUTHORITY AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
2. ANY EXISTING UNUSED WELL(S) SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
3. PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
4. ANY SERVICES REQUIRING ABANDONMENT/RELOCATION OF EXISTING WATER AND/OR SANITARY SEWER SERVICE CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE JCSA REQUIREMENTS.
5. WETLANDS AND LAND WITHIN RESOURCE PROTECTION AREAS SHALL REMAIN IN NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7 OF THE JAMES CITY COUNTY CODE.
6. NATURAL OPEN SPACE EASEMENTS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES REFERENCED ON THE DEED OF EASEMENT.
7. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT DEPICT ALL EASEMENTS AND/OR ENCUMBRANCES ON THE SUBJECT PROPERTY.
8. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
9. PROPERTY LIES IN FIRM ZONES 'X' ACCORDING TO FLOOD INSURANCE RATE MAP #51095C0041D, DATED 12/16/2015.
10. THIS PROPERTY FALLS PARTIALLY WITHIN THE RPA.
11. UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS DESIGNATED ON THIS PLAT SHALL REMAIN PRIVATE AND SHALL BE DEDICATED TO THE HOA.
12. MONUMENTS SHALL BE SET IN ACCORDANCE WITH SECTIONS 19-34 THROUGH 19-36 OF THE COUNTY CODE.
13. TRACT 11A PHASE 1 SECTION 3 IS THE PLATTING OF SINGLE FAMILY LOTS 119-143 AND 148-206 AS SHOWN ON JAMES CITY COUNTY SUBDIVISION PLAN SPLN-22-0003.
14. NO BUILDING OR PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN A JCSA UTILITY EASEMENT. NO TREES, SHRUBS, STRUCTURES, FENCES, IRRIGATION MAINS, INVISIBLE PET FENCES OR OTHER OBSTACLES SHALL BE PLACED WITHIN AN EASEMENT WHICH WOULD RENDER THE EASEMENT INACCESSIBLE BY EQUIPMENT. SHRUBS SHALL BE A MINIMUM OF 5 FEET, AND TREES A MINIMUM OF 10 FEET, FROM THE CENTER OF WATER AND SANITARY SEWER MAINS. JCSA WILL NOT BE RESPONSIBLE FOR REPLACEMENT OF TREES AND SHRUBS PLACED WITHIN THE EASEMENT.
15. THIS PROJECT IS ASSOCIATED WITH CASES Z-18-0002, Z-19-0010 & MP-18-0002.
16. VDOT SHALL HAVE NO RESPONSIBILITY FOR THE MAINTENANCE OF ANY STORMWATER MANAGEMENT FACILITY OR OUTFALL STRUCTURE LOCATED OUTSIDE OF VDOT MAINTAINED RIGHT OF WAY LIMITS. VDOT SHALL HAVE THE RIGHT TO ENTER ANY STORMWATER MANAGEMENT FACILITY OR OUTFALL STRUCTURE WITHIN THE PROPERTY SHOWN ON THIS PLAT IN ORDER TO UNDERTAKE ANY CORRECTIVE MEASURES TO ALLEVIATE PROBLEMS THAT MAY ADVERSELY AFFECT THE SAFE OPERATION OR INTEGRITY OF ANY VDOT MAINTAINED RIGHT OF WAY. VDOT MAY ALSO ENTER OTHER PROPERTY SHOWN ON THIS PLAT AS COMMON AREA IN ORDER TO OBTAIN ACCESS TO, OR TO UNDERTAKE SUCH CORRECTIVE MEASURES TO, SUCH STORMWATER MANAGEMENT FACILITY OR OUTFALL STRUCTURE. THE OWNER AGREES TO INDEMNIFY AND HOLD VDOT HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, DEMANDS, LAWSUITS, LIABILITIES, LOSSES, DAMAGES AND PAYMENTS, INCLUDING ATTORNEYS FEES, CLAIMED BY THE OWNER OR ANY THIRD PARTY AS A RESULT OF VDOT'S ACCESS TO FACILITIES OR STRUCTURES, OR CORRECTIVE MEASURES DESCRIBED ABOVE.
17. PROPOSED RIGHT-OF-WAYS AS PRESENTED HEREON ARE TO BE DEDICATED FOR PUBLIC USE.
18. THE VIRGINIA DEPARTMENT OF TRANSPORTATION, ITS AGENTS AND ASSIGNS ARE GRANTED THE EXCLUSIVE RIGHT TO MAINTAIN THE AREA DEDICATED FOR PUBLIC USE.
19. THE RIGHT-OF-WAY SHOWN HEREON IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED IN ORDER TO PROVIDED INGRESS AND EGRESS TO AND FROM FUTURE SUBDIVISIONS OR ADJACENT PROPERTY.
20. A 25' SETBACK FROM THE DEFINED RPA BUFFER IS REQUIRED SUCH THAT NO BUILDING WILL BE ERECTED WITHIN 25' OF THE RPA.
21. THERE SHALL BE A 5' WIDE PRIVATE DRAINAGE EASEMENT DEDICATED TO THE HOA ALONG ALL INTERIOR PROPERTY LINES THAT DO NOT ADJOIN COMMON AREAS OR PUBLIC RIGHT-OF-WAY SEE EXAMPLE ON SHEET 7.
22. SUBDIVISION OF PARENT TRACT (PARCEL ID: 05401000016) INTO PHASES I AND II IS SHOWN ON STONEHOUSE TRACT 11A PHASE 1 SECTION 1 SUBDIVISION PLAT.

SUBDIVISION OF STONEHOUSE TRACT 11A PHASE 1 - SECTION 3

JAMES CITY COUNTY STONEHOUSE DISTRICT VIRGINIA JANUARY 21, 2026 JOB NO: 23-400

SHEET 1 OF 7



205-E Bullfants Boulevard - Williamsburg, VA 23188 Ph: (757) 565-1677 Fax: (757) 565-0782 web: landtechresources.com

PROPERTY INFORMATION

- 1. OWNER: MCP STONEHOUSE, LLC (INSTR. #210015601)
2. ADDRESS: 9100 SIX MOUNT ZION ROAD TOANO, VIRGINIA 23168
3. PARCEL ID: 0540100016
4. ZONING: PUD-R (PLAN UNIT DEVELOPMENT - RESIDENTIAL)
5. BUILDING SETBACKS: (SEE DETAIL ON SHEET 11) FRONT - 20' REAR - 20' SIDE - 6' CORNER - 10'

TABLE OF CONTENTS

Table with 2 columns: SHEET and CONTENTS. Rows include SHEET 1 COVER, SHEET 2 OVERVIEW, SHEET 3 OVERVIEW, SHEET 4 PHASE 1 SECTION 3, SHEET 5 PHASE 1 SECTION 3, SHEET 6 PHASE 1 SECTION 3, SHEET 7 EASEMENTS AND SETBACKS EXHIBIT CURVE TABLE.

CERTIFICATE OF SOURCE OF TITLE

THIS IS TO CERTIFY THAT THE LAND EMBRACED IN THIS SUBDIVISION STANDS IN THE NAME OF MCP STONEHOUSE, LLC AND WAS ACQUIRED FROM SCP-JTL STONEHOUSE OWNER 2, LLC BY THAT CERTAIN DEED DATED JULY 26, 2021 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF JAMES CITY COUNTY, VIRGINIA AS INSTRUMENT NO. 210015601.

OWNERS CERTIFICATE: MCP STONEHOUSE, LLC

THE SUBDIVISION OF LAND SHOWN ON THIS PLAT AND KNOWN AS SUBDIVISION OF STONEHOUSE TRACT 11A PHASE 1 SECTION 3 IS WITH FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND OR TRUSTEES.

Signature of Michael Kavourias, dated 1/28/26, with name printed and title COO.

CERTIFICATE OF NOTARIZATION

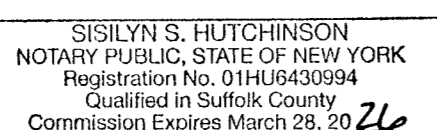
STATE OF NEW YORK

COUNTY OF NEW YORK

I, SISILYN HUTCHINSON-TAIT, DO HEREBY CERTIFY THAT MICHAEL KAVOURIAS PERSONALLY CAME BEFORE ME ON THIS DAY AND ACKNOWLEDGED THAT HE/SHE IS A CORPORATE OFFICER AND THAT HE/SHE, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING ON BEHALF OF THE CORPORATION. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 28 DAY OF JANUARY, 2026.

Signature of Sisilyn Hutchinson-Tait, Notary's Signature, and Sisilyn Hutchinson-Tait, Notary's Printed Name.

MY COMMISSION EXPIRES: 3/28/26



CONSENTED TO:

WESTERN ALLIANCE BANK, AN ARIZONA CORPORATION

Signature of Steven A. Strehlow, dated 2/12/26, with name printed and title VICE PRESIDENT.

CERTIFICATE OF NOTARIZATION

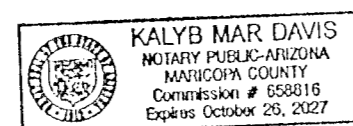
STATE OF ARIZONA

COUNTY OF MARICOPA

I, KALYB DAVIS, DO HEREBY CERTIFY THAT STEVEN R. STREHLOW PERSONALLY CAME BEFORE ME ON THIS DAY AND ACKNOWLEDGED THAT HE/SHE IS A CORPORATE OFFICER AND THAT HE/SHE, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING ON BEHALF OF THE CORPORATION. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF FEBRUARY, 2026.

Signature of Kalyb Davis, Notary's Signature, and Kalyb Davis, Notary's Printed Name.

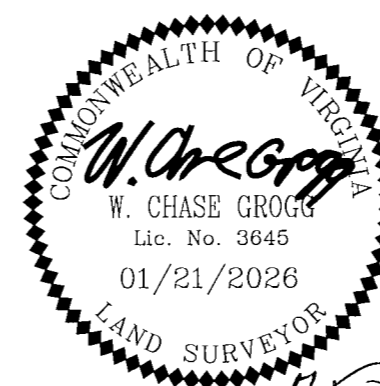
MY COMMISSION EXPIRES: 10/26/27



ENGINEERS OR SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE OR BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.

Signature of W. Chase Grogg, dated 01/21/2026, with name printed and title W. CHASE GROGG, L.S.



7 Large/Small Plat(s) Recorded herewith as # 202603846

CERTIFICATE OF APPROVAL

THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

Signature of Susan M. Istene, dated 04/01/2026, with name printed and title SUBDIVISION AGENT OF JAMES CITY COUNTY.

Signature of Yogendra Patel, dated 02/02/26, with name printed and title VA DEPARTMENT OF TRANSPORTATION.

STATE OF VIRGINIA, JAMES CITY COUNTY

IN THE CLERKS OFFICE OF THE CIRCUIT COURT FOR THE COUNTY OF JAMES CITY THIS 3rd DAY OF April, 2026. THIS PLAT WAS PRESENTED AND ADMITTED TO RECORD AS THE LAW DIRECTS AT 10:34 am INSTRUMENT # 202603846 ELIZABETH E. O'CONNOR, CLERK

202603846

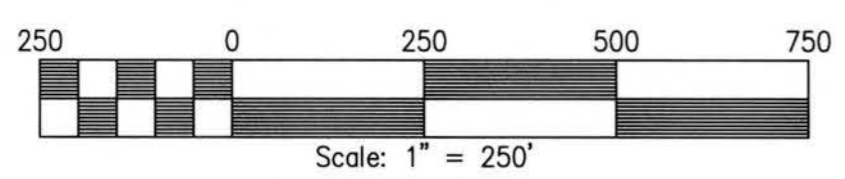
SUBDIVISION OF  
**STONEHOUSE**  
**TRACT 11A**  
 PHASE 1 - SECTION 3

JAMES CITY COUNTY    STONEHOUSE DISTRICT    VIRGINIA  
 JANUARY 21, 2026    JOB NO: 23-400

SHEET 2 OF 7



205-E. Bullfants Boulevard - Williamsburg, VA 23188  
 Ph: (757) 565-1677 Fax: (757) 565-0782  
 web: landtechresources.com

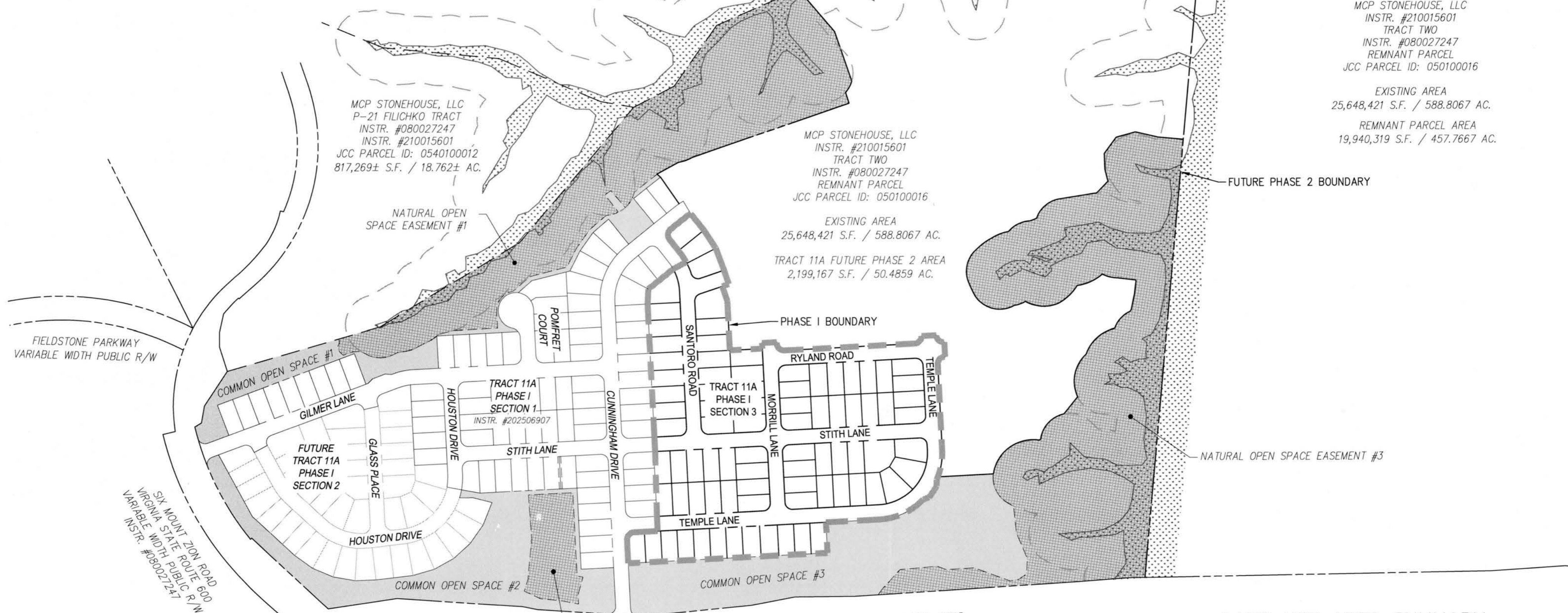


MCP STONEHOUSE, LLC  
 P-16 SLATER TRACT  
 INSTR. #080027247  
 INSTR. #210015601  
 JCC PARCEL ID: 0540100011  
 6,710,267± S.F. / 154.047± AC.

MCP STONEHOUSE, LLC  
 P-21 FILICHKO TRACT  
 INSTR. #080027247  
 INSTR. #210015601  
 JCC PARCEL ID: 0540100012  
 817,269± S.F. / 18.762± AC.

MCP STONEHOUSE, LLC  
 INSTR. #210015601  
 TRACT TWO  
 INSTR. #080027247  
 REMNANT PARCEL  
 JCC PARCEL ID: 050100016  
 EXISTING AREA  
 25,648,421 S.F. / 588.8067 AC.  
 TRACT 11A FUTURE PHASE 2 AREA  
 2,199,167 S.F. / 50.4859 AC.

MCP STONEHOUSE, LLC  
 INSTR. #210015601  
 TRACT TWO  
 INSTR. #080027247  
 REMNANT PARCEL  
 JCC PARCEL ID: 050100016  
 EXISTING AREA  
 25,648,421 S.F. / 588.8067 AC.  
 REMNANT PARCEL AREA  
 19,940,319 S.F. / 457.7667 AC.



FIELDSTONE PARKWAY  
 VARIABLE WIDTH PUBLIC R/W

SIX MOUNT ZION ROAD  
 VIRGINIA STATE ROUTE 600  
 VARIABLE WIDTH PUBLIC R/W  
 INSTR. #080027247

City of Williamsburg & County of James City  
 Circuit Court: This PLAT was recorded on  
 at 10:34 AM on April 3, 2026  
 Document # 202603846  
 ELIZABETH E. O'CONNOR, CLERK  
 Elizabeth E. O'Connor, Clerk

1 Large/Small Plat(s) Recorded  
 herewith as # 202603846

MOUNT LAUREL ROAD  
 VIRGINIA STATE ROUTE 608  
 INSTR. #080027247  
 INTERSTATE 64  
 VARIABLE WIDTH PUBLIC R/W

LAND USE AREA SUMMARY

	SE	AC
SINGLE-FAMILY ATTACHED LOTS:	525,634	12.07
PUBLIC RIGHT OF WAY:	207,938	4.77
TOTAL AREA SUBDIVIDED	733,572	16.84
NUMBER OF SINGLE-FAMILY DETACHED LOTS: 84		

202603846

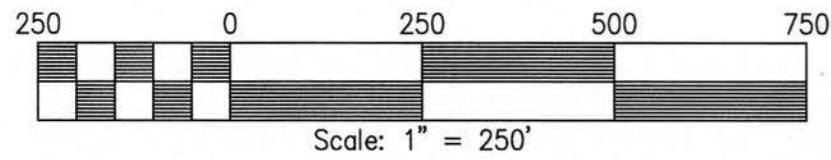
SUBDIVISION OF  
STONEHOUSE  
TRACT 11A  
PHASE 1 - SECTION 3

JAMES CITY COUNTY    STONEHOUSE DISTRICT    VIRGINIA  
JANUARY 21, 2026    JOB NO: 23-400

SHEET 3 OF 7

VIRGINIA STATE PLANE  
(NAD83) (VA SOUTH ZONE)

**LRI**  
**LANDTECH**  
**RESOURCES, INC.**  
Engineering and Surveying Consultants  
205-E Bullfants Boulevard - Williamsburg, VA 23188  
Ph: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com



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INSTR. #210015601  
TRACT TWO  
INSTR. #080027247  
REMNANT PARCEL  
JCC PARCEL ID: 050100016

City of Williamsburg & County of James City  
Circuit Court: This PLAT was recorded on  
April 3, 2026  
at 10:31 AM/PM, PG  
Document # 202603846  
ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk

1 Large/Small Plat(s) Recorded  
herewith as # 202603846

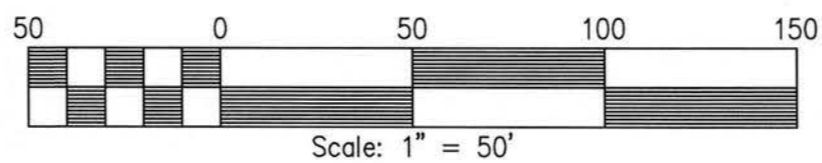
MOUNT LAUREL ROAD  
VIRGINIA STATE ROUTE 608  
INSTR. #080027247  
INTERSTATE 64  
VARIABLE WIDTH PUBLIC R/W

202603846

SUBDIVISION OF  
STONEHOUSE  
TRACT 11A  
PHASE 1 - SECTION 3

JAMES CITY COUNTY STONEHOUSE DISTRICT VIRGINIA  
JANUARY 21, 2026 JOB NO: 23-400

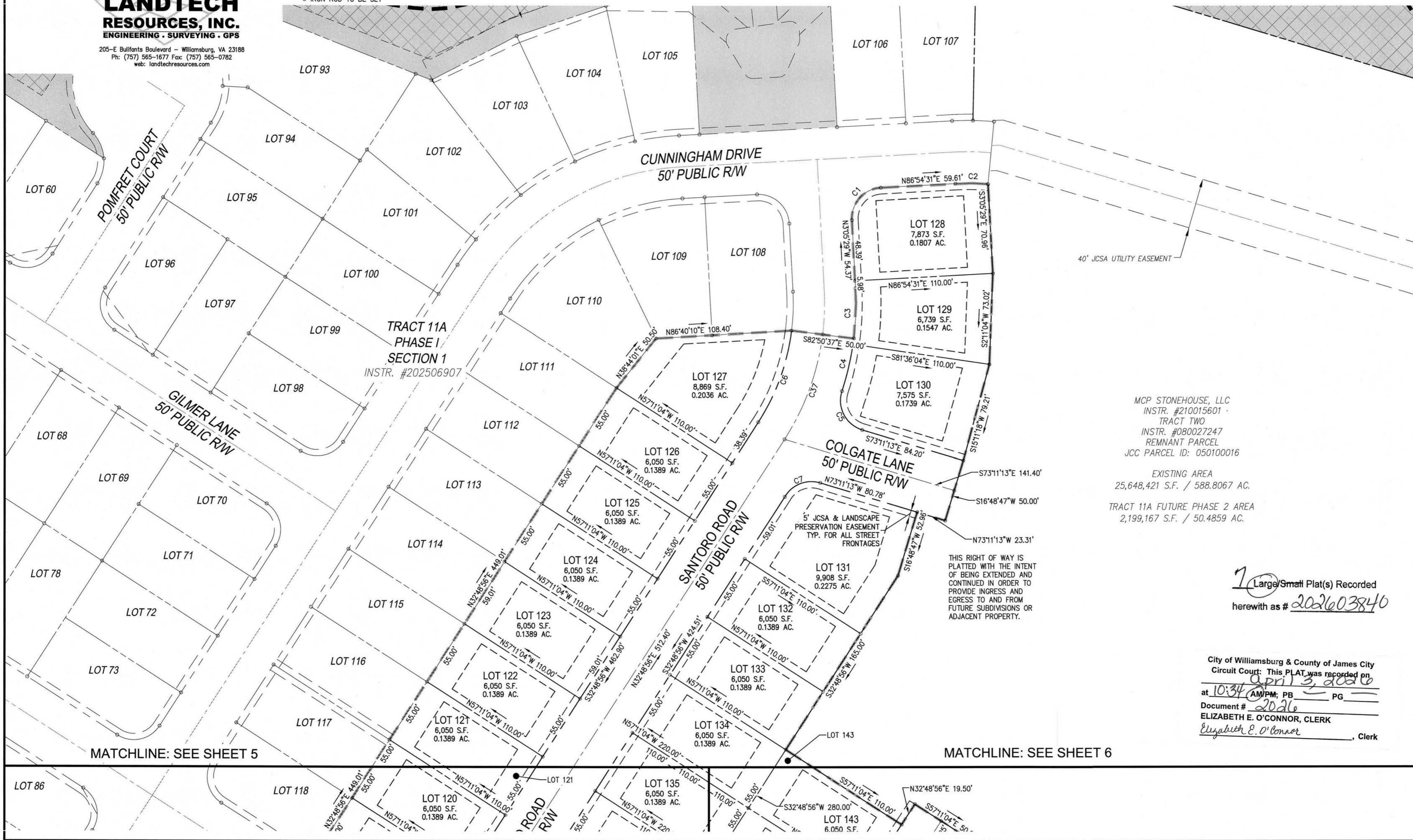
SHEET 4 OF 7



**LRI**  
**LANDTECH**  
**RESOURCES, INC.**  
ENGINEERING · SURVEYING · GPS

205-E Bullfants Boulevard - Williamsburg, VA 23188  
Ph: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com

LEGEND:  
○ IRON ROD TO BE SET



MCP STONEHOUSE, LLC  
INSTR. #210015601  
TRACT TWO  
INSTR. #080027247  
REMNANT PARCEL  
JCC PARCEL ID: 050100016

EXISTING AREA  
25,648,421 S.F. / 588.8067 AC.

TRACT 11A FUTURE PHASE 2 AREA  
2,199,167 S.F. / 50.4859 AC.

THIS RIGHT OF WAY IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED IN ORDER TO PROVIDE INGRESS AND EGRESS TO AND FROM FUTURE SUBDIVISIONS OR ADJACENT PROPERTY.

7 Large/Small Plat(s) Recorded  
herewith as # 202603846

City of Williamsburg & County of James City  
Circuit Court: This PLAT was recorded on  
at 10:34 AM/PM, PB PG  
Document # 2026  
ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk

MATCHLINE: SEE SHEET 5

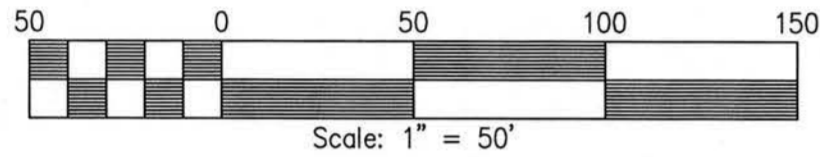
MATCHLINE: SEE SHEET 6

202603846

SUBDIVISION OF  
STONEHOUSE  
TRACT 11A  
PHASE 1 - SECTION 3

JAMES CITY COUNTY STONEHOUSE DISTRICT VIRGINIA  
JANUARY 21, 2026 JOB NO: 23-400

SHEET 5 OF 7



LEGEND:  
○ IRON ROD TO BE SET



10 Large/Small Plat(s) Recorded  
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City of Williamsburg & County of James City  
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ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk

MOUNT LAUREL ROAD  
VIRGINIA STATE ROUTE 608  
INSTR. #080027247  
INTERSTATE 64  
VARIABLE WIDTH PUBLIC R/W

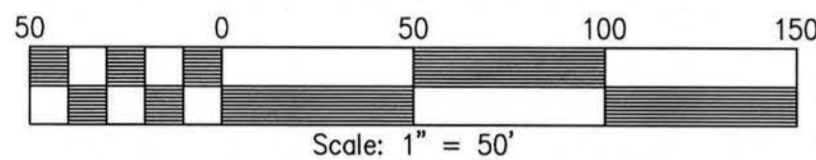
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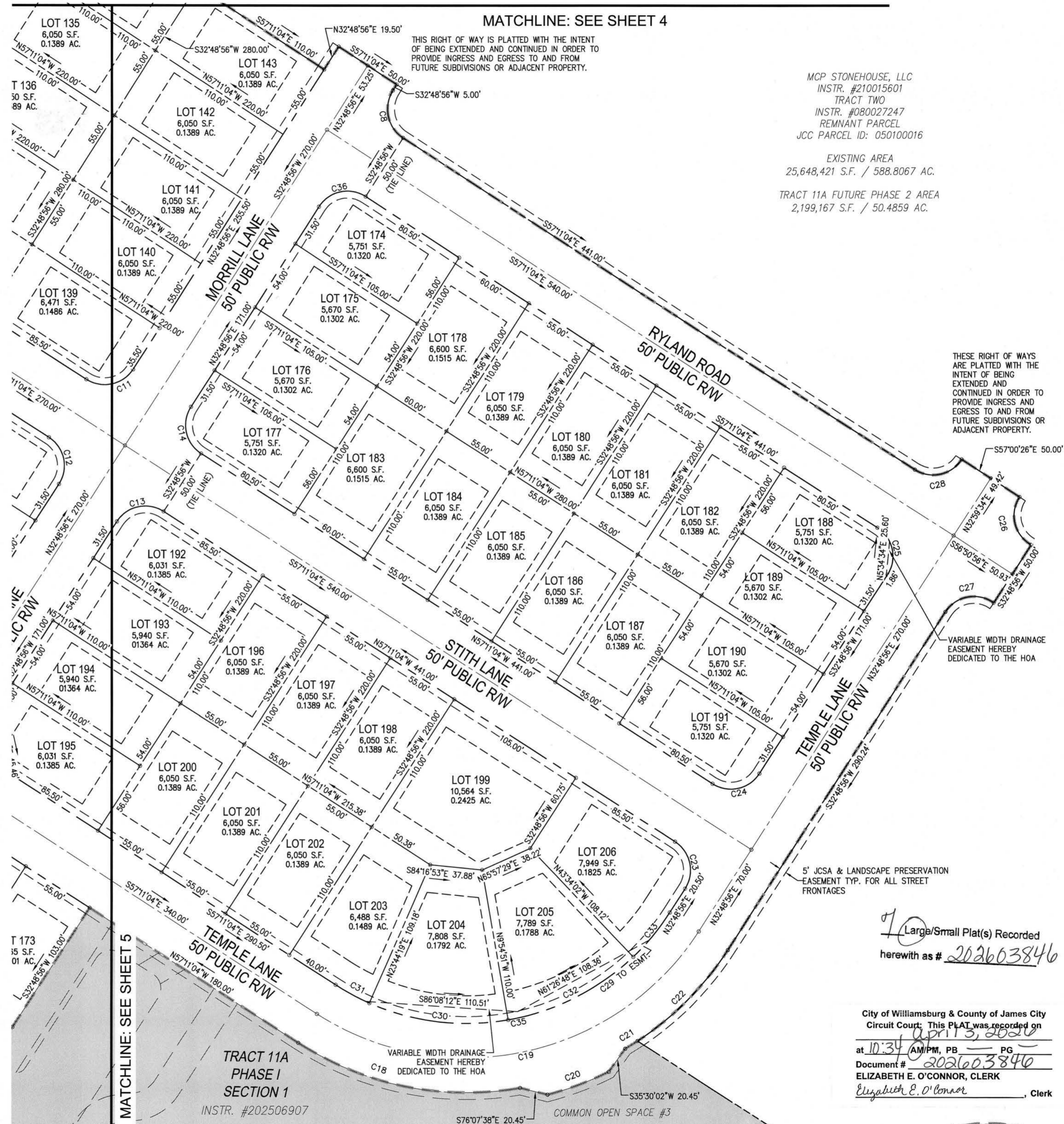
SUBDIVISION OF  
STONEHOUSE  
TRACT 11A  
PHASE 1 - SECTION 3

JAMES CITY COUNTY STONEHOUSE DISTRICT VIRGINIA  
ANJANUARY 21, 2026 JOB NO: 23-400

SHEET 6 OF 7



LEGEND:  
○ IRON ROD TO BE SET



MATCHLINE: SEE SHEET 4

THIS RIGHT OF WAY IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED IN ORDER TO PROVIDE INGRESS AND EGRESS TO AND FROM FUTURE SUBDIVISIONS OR ADJACENT PROPERTY.

MCP STONEHOUSE, LLC  
INSTR. #210015601  
TRACT TWO  
INSTR. #080027247  
REMNANT PARCEL  
JCC PARCEL ID: 050100016

EXISTING AREA  
25,648,421 S.F. / 588.8067 AC.  
TRACT 11A FUTURE PHASE 2 AREA  
2,199,167 S.F. / 50.4859 AC.

THESE RIGHT OF WAYS ARE PLATTED WITH THE INTENT OF BEING EXTENDED AND CONTINUED IN ORDER TO PROVIDE INGRESS AND EGRESS TO AND FROM FUTURE SUBDIVISIONS OR ADJACENT PROPERTY.

VARIABLE WIDTH DRAINAGE EASEMENT HEREBY DEDICATED TO THE HOA

5' JCSA & LANDSCAPE PRESERVATION EASEMENT TYP. FOR ALL STREET FRONTS

10 Large/Small Plat(s) Recorded  
herewith as # 202603846

City of Williamsburg & County of James City  
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ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk

TRACT 11A  
PHASE I  
SECTION 1  
INSTR. #202506907

COMMON OPEN SPACE #3

202603846

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	24.50'	38.48'	34.65'	N 41°54'31" E	90°00'00"
C2	175.00'	25.99'	25.96'	S 88°50'13" E	8°30'31"
C3	225.00'	40.24'	40.19'	S 02°01'57" W	10°14'52"
C4	225.00'	43.02'	42.96'	S 12°38'02" W	10°57'19"
C5	24.50'	39.04'	35.04'	S 27°32'15" E	91°17'55"
C6	175.00'	78.37'	77.72'	S 19°59'09" W	25°39'33"
C7	24.50'	32.73'	30.35'	S 68°35'47" W	76°32'47"
C8	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C9	24.50'	38.48'	34.65'	N 77°48'56" E	90°00'00"
C10	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C11	24.50'	38.48'	34.65'	N 77°48'56" E	90°00'00"
C12	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C13	24.50'	38.48'	34.65'	N 77°48'56" E	90°00'00"
C14	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C15	24.50'	38.48'	34.65'	N 77°48'56" E	90°00'00"
C16	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C17	24.50'	38.48'	34.65'	N 77°48'56" E	90°00'00"
C18	225.00'	167.84'	163.98'	N 78°33'17" W	42°44'26"
C19	200.00'	314.16'	282.84'	N 77°48'56" E	90°00'00"
C20	234.00'	47.39'	47.31'	S 69°41'12" W	11°36'16"
C21	225.00'	10.56'	10.56'	N 57°57'15" E	2°41'19"
C22	225.00'	93.44'	92.77'	N 44°42'46" E	23°47'40"
C23	24.50'	38.48'	34.65'	N 12°11'04" W	90°00'00"
C24	24.50'	38.48'	34.65'	S 77°48'56" W	90°00'00"
C25	24.50'	38.48'	34.65'	S 12°11'04" E	90°00'00"
C26	24.50'	40.10'	35.77'	N 13°38'28" W	93°46'50"
C27	24.50'	39.92'	35.64'	N 79°29'18" E	93°20'43"
C28	24.50'	38.48'	34.65'	S 77°48'56" W	90°00'00"
C29	175.00'	16.86'	16.85'	S 43°40'24" W	5°31'09"
C30	175.00'	102.79'	101.32'	N 83°05'16" W	33°39'10"
C31	175.00'	27.72'	27.69'	N 61°43'23" W	9°04'37"
C32	175.00'	102.79'	101.32'	S 63°15'33" W	33°39'10"
C33	175.00'	41.59'	41.49'	S 39°37'27" W	13°37'02"
C35	175.00'	274.89'	247.49'	N 77°48'56" E	90°00'00"
C36	24.50'	38.48'	34.65'	S 77°48'56" W	90°00'00"
C37	200.00'	89.57'	88.82'	S 19°59'09" W	25°39'33"

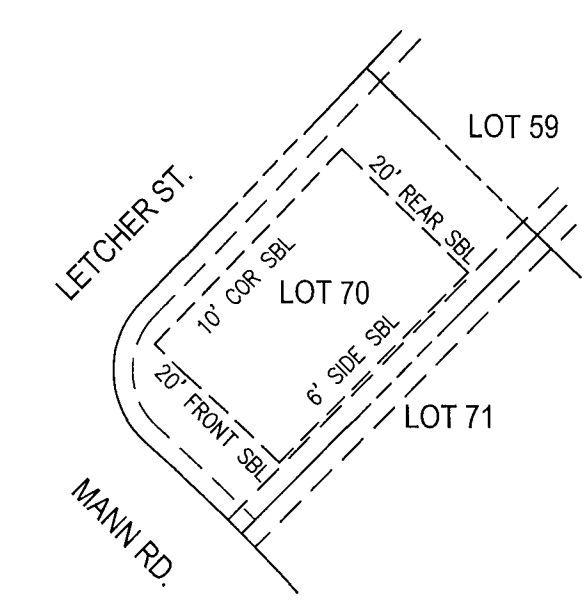


EXHIBIT C  
SINGLE FAMILY DETACHED  
BUILDING SETBACK LINES

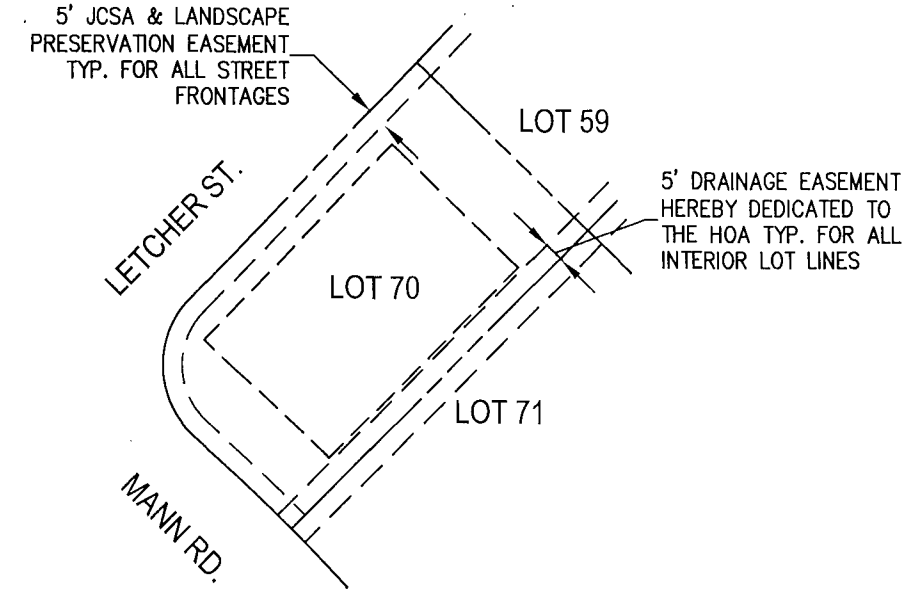


EXHIBIT D  
TYPICAL DRAINAGE EASEMENTS

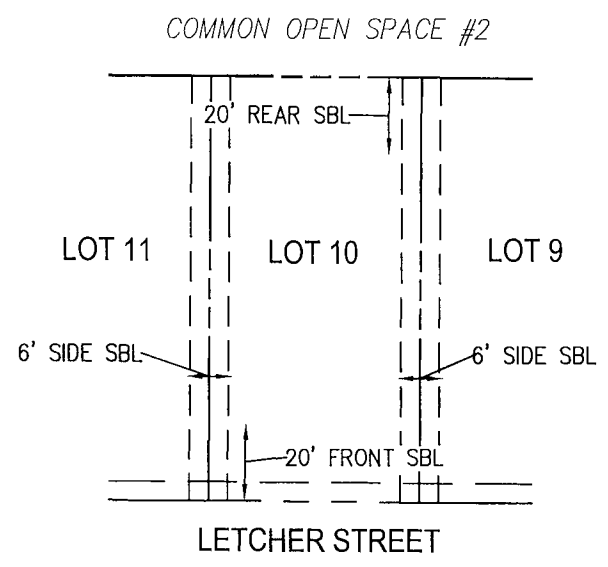


EXHIBIT E  
SINGLE FAMILY DETACHED  
BUILDING SETBACK LINES

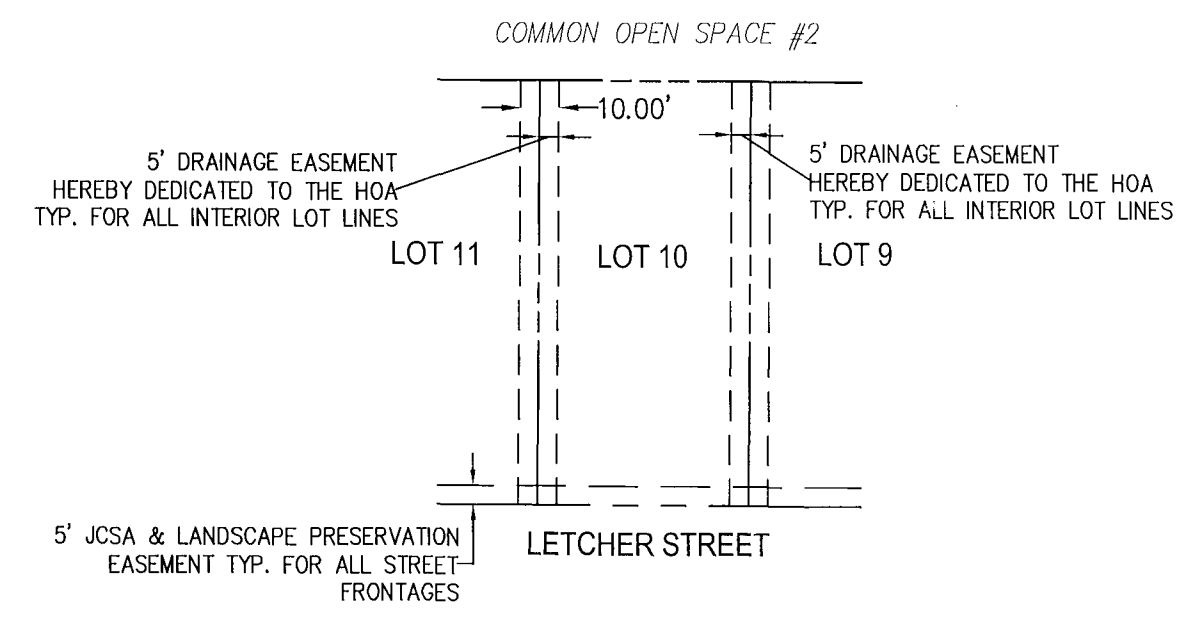


EXHIBIT F  
TYPICAL DRAINAGE EASEMENTS

EASEMENTS AND SETBACKS EXHIBIT

SUBDIVISION OF  
STONEHOUSE  
TRACT 11A  
PHASE 1 - SECTION 3

JAMES CITY COUNTY    STONEHOUSE DISTRICT    VIRGINIA  
JANUARY 21, 2026    JOB NO: 23-400

SHEET 7 OF 7

**LRI**  
**LANDTECH**  
**RESOURCES, INC.**  
Engineering and Surveying Consultants  
205-E Bullfants Boulevard -- Williamsburg, VA 23188  
Ph: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com

1 Large/Small Plat(s) Recorded  
herewith as # 202603846

City of Williamsburg & County of James City  
Circuit Court: This PLAT was recorded on  
April 3, 2026  
at 10:34 AM, RM, PB PG  
Document # 202603846  
ELIZABETH E. O'CONNOR, CLERK  
Elizabeth E. O'Connor, Clerk