EROSION & SEDIMENT CONTROL NOTES

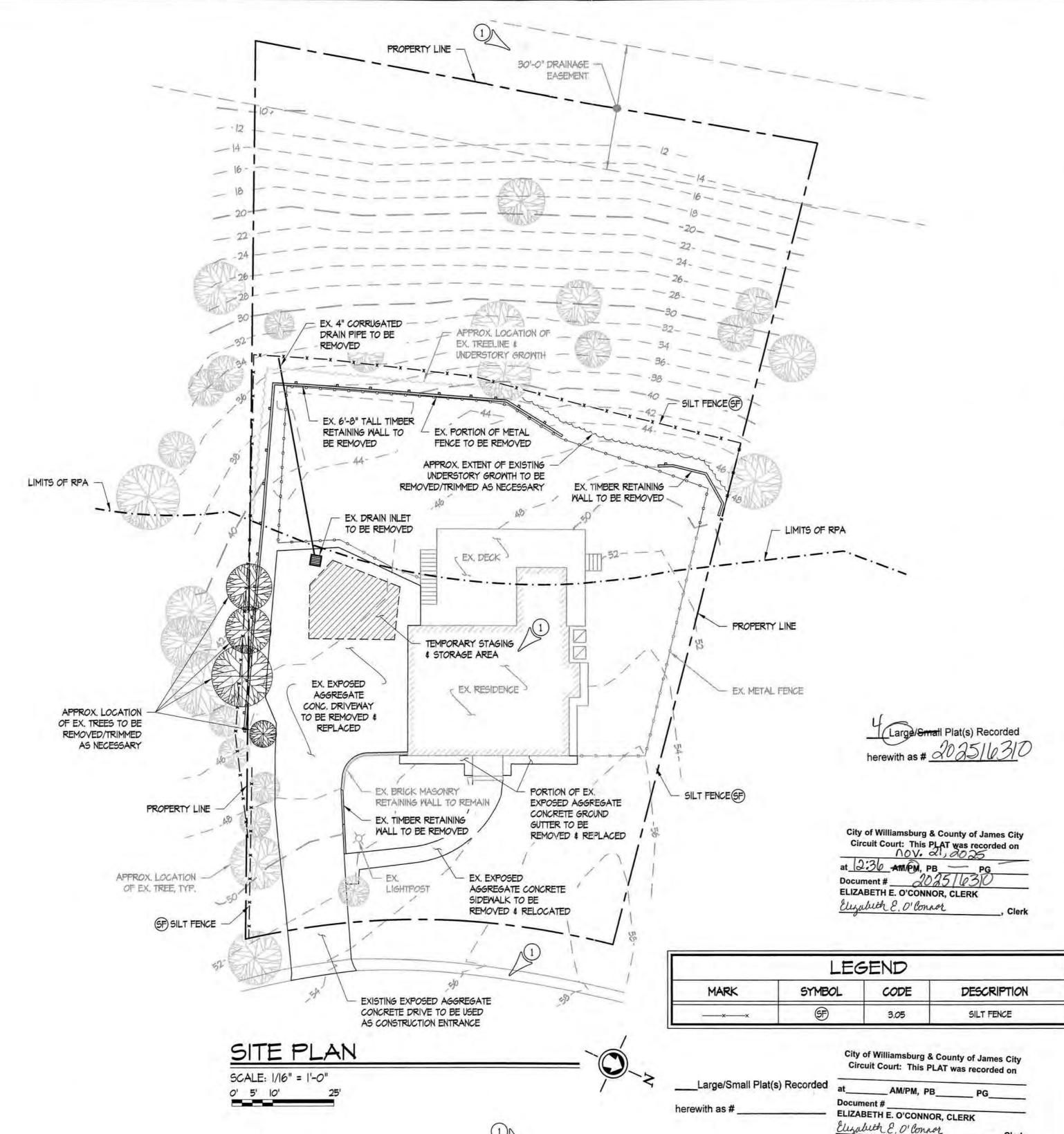
GENERAL:

- THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OMNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
- THIS SITE IS LOCATED WITHIN THE CHESAPEAKE BAY WATERSHED. A PORTION OF THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
- ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LAND TECH RESOURCES. INC. REVISED JUNE 24, 2022.
- THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF
- A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN I ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2,500 SQUARE FEET.
- ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING, SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY, MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-I (JUTE MESH).

JAMES CITY COUNTY STANDARD STORMMATER POLLUTION PREVENTION PLAN NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR PLAN OF DEVELOPMENT PROJECTS IN JAMES CITY COUNTY, VIRGINIA. COMPONENTS OF A SWPPP MAY INCLUDE AS APPLICABLE, A SITE EROSION AND SEDIMENT CONTROL (E&SC) PLAN, A SITE STORMMATER MANAGEMENT (SMM) PLAN, AND A SITE POLLUTION PREVENTION PLAN (PPP). THE COUNTY'S DIVISION OF ENGINEERING AND RESOURCE PROTECTION IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESCP) AUTHORITY AND VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) AUTHORITY.

- ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (E&SC) LAW AND REGULATIONS, THE VIRGINIA STORMMATER MANAGEMENT ACT AND REGULATIONS (VSMP), THE VIRGINIA BMP CLEARINGHOUSE WEBSITE, STATE EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ.), AND THE LOCAL VESCP AND VSMP AUTHORITY SHALL APPLY TO THE PROJECT.
- MINIMUM STANDARDS NO. I THROUGH NO. 19 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840 ET SEQ. SHALL APPLY TO THE PROJECT.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VPDES PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 880 THE VIRGINIA STORMWATER MANAGEMENT PROGRAM REGULATIONS CHAPTER 870; AND IN ACCORDANCE WITH CURRENT REQUIREMENTS OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP), THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, CHAPTER 8 OF THE COUNTY CODE AND THE LOCAL VESCP/VSMP AUTHORITY
- THE OWNER, APPLICANT, OPERATOR OR PERMITTEE SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE OF COMPETENCE WHO WILL BE RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY PRIOR TO ENGAGING IN THE LAND DISTURBING ACTIVITY. THIS WILL BE NECESSARY PRIOR TO ISSUANCE OF A LOCAL LAND DISTURBING AND/OR STORMWATER CONSTRUCTION PERMIT FOR THE PROJECT. THE RLD IS REQUIRED TO ATTEND THE PRECONSTRUCTION CONFERENCE FOR THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT MISS UTILITY (DIAL 811 IN VA OR 1-800-552-7001) PRIOR TO ANY UTILITY OR SITE WORK EXCAVATIONS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLANNED, DESIGNED, IMPLEMENTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). THE CONTRACTOR SHALL MAINTAIN, INSPECT, AND REPAIR ALL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED THROUGHOUT THE LIFE OF THE PROJECT TO ENSURE CONTINUED ACCEPTABLE PERFORMANCE.
- A PRECONSTRUCTION CONFERENCE (MEETING) SHALL BE HELD ON SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCP/VSMP AUTHORITY, THE OWNER/APPLICANT/OPERATOR/PERMITTEE, THE RESPONSIBLE LAND-DISTURBER (RLD), AND THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES, AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OWNER, APPLICANT, OPERATOR OR PERMITTEE IS REQUIRED TO COORDINATE SCHEDULING OF THE PRECONSTRUCTION CONFERENCE BETWEEN ALL APPLICABLE PARTIES. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION AND A REVISED POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF APPLICABLE, TO THE LOCAL VESCP/VSMP AUTHORITY FOR REVIEW AND APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- A POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO: MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER AND OTHER WASH WATERS MINIMIZE THE EXPOSURE OF ALL MATERIALS ON THE SITE (SUCH AS BUILDING MATERIALS AND PRODUCTS CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, ETC.) TO PRECIPITATION AND STORMWATER; MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPILLS AND LEAKS; IMPLEMENT CHEMICAL SPILL AND LEAK PREVENTION AND RESPONSE PROCEDURES; AND INCLUDE EFFECTIVE BEST MANAGEMENT PRACTICES TO PROHIBIT THE DISCHARGE OF MASTEMATER FROM: CONCRETE WASHOUT AREAS, DISCHARGE OF WASTEMATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; DISCHARGE OF FUELS, OILS, OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE ACTIVITIES; AND THE DISCHARGE OF SOAPS AND SOLVENTS USED FOR VEHICLE AND EQUIPMENT WASHING. THIS PLAN SHALL BE AVAILABLE ONSITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCPIVSMP AUTHORITY WHEN REQUESTED.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE IS RESPONSIBLE FOR ALL OPERATOR SELF-INSPECTIONS AS REQUIRED IN THE POLLUTION PREVENTION PLAN (P2 PLAN OR PPP) OR AS REQUIRED AS PART OF A DEVELOPED STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THESE INSPECTIONS SHALL BE MADE AVAILABLE, UPON REQUEST, BY THE LOCAL VESCP/VSMP AUTHORITY.
- IO. ALL PERIMETER EROSION AND SEDIMENT CONTROL (E&SC) MEASURES SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE ACTIVITY TAKES PLACE.
- ADDITIONAL SAFETY FENCE OR DUST CONTROL MEASURES, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS, 3.01 AND 3.39 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REQUIRED TO BE IMPLEMENTED ON THE SITE IN ADDITION TO THAT SHOWN ON THE APPROVED PLAN AND SPECIFICATIONS IN ORDER TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL



STATISTICAL INFORMATION

ZONE: R4 - RESIDENTIAL PLANNED COMMUNITY

PARCEL ID NO .: 5030400077

LRSN NO .:

OWNER: TRAINUM, LEE SCOTT & JEANNIE S

SITE DESCRIPTION: 105 AMBROSE HILL

PROJECT AREA: 4,988 SQ. FT (O.II ACRES)

IMPERVIOUS COVER FOR PROJECT AREA: PRE-CONSTRUCTION POST-CONSTRUCTION NET CHANGE GREEN AREA 1,891 SQ. FT (38%) -216 SQ. FT (4%) 2,107 SQ. FT (42%) +216 SQ. FT (4%) IMPERVIOUS AREA 2,881 SQ. FT (58%) 3,097 SQ. FT (62%) 0 SQ. FT (0%) TOTAL AREA 4,988 SQ. FT (100%) 4,988 SQ. FT (100%) TOTAL LIMITS OF DISTURBANCE: 280 SQ. FT RETAINING WALLS

DRIVEWAY 2,463 SQ. FT CONCRETE GROUND GUTTERS 82 SQ. FT CONCRETE SIDEWALK 272 SQ. FT PLANTING/GRADING AREA 1,891 SQ. FT

4,988 SQ. F TOTAL AREA NET CHANGE TO IMPERVIOUS AREA IN RPA: +147 SQ. FT

PROJECT DESCRIPTION

THIS PROJECT INCLUDES REPLACEMENT OF EXISTING FAILING TIMBER RETAINING WALLS WITH MORE DURABLE CONSTRUCTION MATERIALS.

SEQUENCE OF CONSTRUCTION

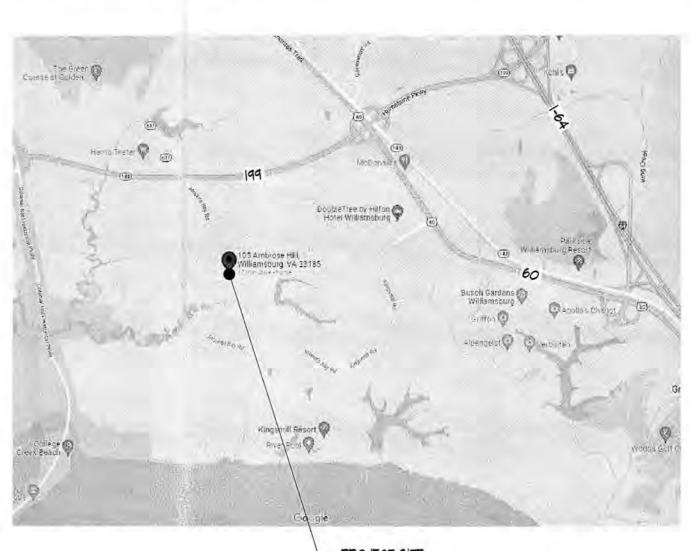
INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED. STABILIZATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE WITH JAMES CITY COUNTY & STATE REGULATIONS. EXISTING EXPOSED AGGREGATE CONCRETE DRIVEWAY WILL SERVE AS CONSTRUCTION ENTRANCE.

- REMOVE/TRIM LIMITED VEGETATION AS SPECIFICALLY DENOTED ON PLANS & REMOVE DRAINAGE FEATURES & EXISTING TIMBER RETAINING WALLS AS INDICATED ON PLANS.
- 3. CONSTRUCT DRAINAGE IMPROVEMENTS, SEGMENTAL BLOCK RETAINING WALL & GEO-GRID REINFOCING. \$ CONSTRUCT MASONRY RETAINING WALL. ALL BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS. BACKFILL MATERIAL SHALL BE BROUGHT TO THE SITE AS NEEDED.
- 4. CONSTRUCT PEDESTRIAN GUARD ASSEMBLY/FENCING.
- STABILIZE ALL RE-GRADED EARTH WITH SEED & STRAW.
- REMOVE & REPLACE EXPOSED AGGREGATE DRIVEWAY, SIDEWALK, & GROUND GUTTERS
- REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.

JAMES CITY COUNTY STANDARD STORMWATER POLLUTION PREVENTION PLAN NOTES (CONT):

- 12. EROSION AND SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT OR FOLLOWING TIME OF CONSTRUCTION TO ENSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED, TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC, OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL. LOCAL VESCP/VSMP AUTHORITY APPROVAL SHALL BE REQUIRED FOR ANY DEVIATION OF EROSION AND SEDIMENT CONTROL MEASURES FROM THE APPROVED PLAN.
- OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE LOCAL VESCP/VSMP AUTHORITY PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.
- TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY
- CULVERT AND STORM DRAIN INLET PROTECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS. 3.07 AND 3.08 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REMOVED AT THE DISCRETION OF THE ASSIGNED LOCAL VESCP/VSMP AUTHORITY COMPLIANCE INSPECTOR, SHOULD PLACEMENT OF THE MEASURE RESULT IN EXCESSIVE ROAD FLOODING TRAFFIC OR SAFETY HAZARD, OR RESULT IN THE REDIRECTION OF DRAINAGE ONTO OR TOWARD EXISTING LOTS, HOMES, DRIVEWAYS, GARAGES OR OTHER STRUCTURES. DECISIONS SHALL BE MADE BY THE VESCP/VSMP AUTHORITY ON A CASE-BY-CASE BASIS BASED ON FIELD SITUATIONS ENCOUNTERED.
- 16. DRAINAGE FACILITIES SHALL BE INSTALLED AND FUNCTIONAL WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT.
- 17. NO MORE THAN 300 FEET OF TRENCH MAY BE OPEN AT ONE TIME FOR UNDERGROUND UTILITY LINES, INCLUDING STORM WATER CONVEYANCES. ALL OTHER PROVISIONS OF MINIMUM STANDARD NO. 16 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS APPLY.
- 18. PERMANENT OR TEMPORARY STABILIZATION OF DISTURBED SOIL AREAS SHALL COMPLY WITH MINIMUM STANDARD # | AND # 3 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS.
- 19. THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION ON THE APPROVED PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED, IN ACCORDANCE WITH MINIMUM STANDARD # I AND # 3 FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, MINIMUM STANDARDS & SPECS. 3.29 THROUGH 3.37 OF THE VIRGINIA EROSION AND SECIMENT CONTROL HANDBOOK (VESCH), AND ANY TECHNICAL BULLETINS ISSUED BY THE STATE WATER CONTROL BOARD OR VIRGINIA DEQ, AS APPLICABLE. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL OUTDOOR WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
- 20. IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING IN ACCORDANCE WITH MINIMUM STANDARD \$ SPEC. 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.
- 21. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. REMOVAL SHALL NOT OCCUR WITHOUT AUTHORIZATION BY THE LOCAL VESCP/VSMP AUTHORITY. DISTURBANCES ASSOCIATED WITH THE REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY STABILIZED.
- 22. NO SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE REMOVED UNTIL A) AT LEAST 75 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN SOLD TO A THIRD PARTY FOR THE CONSTRUCTION OF HOMES (UNRELATED TO THE DEVELOPER); AND/OR, B) 60 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN ARE COMPLETED AND STABILIZED. A BULK SALE OF THE LOTS TO ANOTHER BUILDER DOES NOT SATISFY THIS PROVISION. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL NOT BE REMOVED WITHOUT AUTHORIZATION OF THE LOCAL VESCP/VSMP AUTHORITY.
- 23. DESIGN AND CONSTRUCTION OF PRIVATE-TYPE STORM DRAINAGE SYSTEMS, OUTSIDE VDOT RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY, ENGINEERING AND RESOURCE PROTECTION DIVISION, STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED), GENERAL DESIGN AND CONSTRUCTION GUIDELINES (IE. COUNTY DRAINAGE STANDARDS)
- 24. RECORD DRAWINGS (ASBUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL STORMWATER FACILITIES INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. THE CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS DEVELOPED BY THE VSMP AUTHORITY. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY'S CHAPTER & EROSION AND SEDIMENT CONTROL AND VSMP ORDINANCE AND THE LOCAL VESCP/VSMP AUTHORITY.
- 25. ALL STORMWATER FACILITIES INCLUDING BMPS, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCP/VSMP AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITTEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH ESTABLISHED COUNTY STORMMATER FACILITY INSPECTION PROGRAM REQUIREMENTS.

IT SHOULD BE NOTED THAT THE EXISTING DETERIORATED TIMBER RETAINING WALLS TO BE REPLACED WERE IN PLACE PRIOR TO JAMES CITY COUNTY ORDINANCE SECTION 23-9.1, TITLED PERFORMANCE STANDARDS FOR RETAINING WALLS, AND ENACTED MAY II, 2021



PROJECT SITE: 105 AMBROSE HILL VICINITY MAP

ANN A

MIN. EMBED MIN. EMBED 2'-2" APPROX. EXTENT OF 58'-6" LONG LANDSCAPING WALL TO BE INSTALLED 4'-6" IN ... NOTE: PEDESTRIAN BARRIER AT TOP OF WALL FRONT OF RETAINING WALL A; RETAINING WALL TOP OF WALL A NOT TO EXCEED RETAINED HEIGHT OF 6'-6" NOT SHOWN FOR CLARITY 3XT - 6'-0" 3XT - 7'-0" APPROX. NEW FINISH GRADE ALONG REAR FACE OF WALL 3XT - 7'-0" | 3XT - 8'-6" 3XT - 7'-0" 3XT - 6'-0" - 4" CAP 3XT - 8'-6" | 3XT - 7'-0" TOP OF WALL ELEV. = 46.33 TOP OF WALL ELEV. = 45.66 2'-2" MIN. EMBED MIN. EMBED NOTE: LANDSCAPE WALL NOT TO EXCEED EXPOSED HEIGHT OF 2'-II" 43 TOP OF FOOTING ELEV. = 44.00 TOP OF WALL APPROX. NEW FINISH 4" CAP TOP OF FOOTING ELEV. = 47.33 GRADE ALONG REAR FACE OF WALL 8" MIN. THICK COMPACTED NO. 8" FOOTING STEP, TYP. U.N.O., 2'-0" MAX. FOOTING STEP 21A STONE FOOTING THROUGH WALL DRAINS APPROX. FINISH GRADE
ALONG FRONT FACE OF WALL @ 25'-0" O.C. MAX APPROX. NEW RAISED FINISH GRADE --ALONG FRONT FACE OF WALL TOP OF FOOTING THROUGH WALL DRAINS . @ 25'-0" O.C. MAX APPROX. FINISH GRADE ALONG FRONT FACE OF WALL APPROX. EX. FINISH GRADE ALONG -## FOOTING STEP, S" MIN. THICK - COMPACTED NO. MAX. FOOTING STEP 2IA STONE FOOTING FRONT FACE OF WALL TO BE RAISED 00+00 00 + 7501 + 2501 + 5001 + 7502+00 00 + 2500 + 5000+00 00 + 2500 + 5001+00 02 + 25WALL PROFILE MALL PROFILE HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0" HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0" Limin Line of the contraction of MIN. EMBED 2'-0" MIN, EMBED NOTE: PEDESTRIAN APPROX. FINISH GRADE -BARRIER AT TOP OF WALL ALONG REAR FACE OF WALL NOT SHOWN FOR CLARITY TOOTH EX. AND NEW ... BRICK WALLS TOGETHER STEP TOP OF WALL BY 55 (2) BRICK COURSES AT INTERSECTION TOP OF WALL EX. MASONRY RETAINING WALL . APPROX. FINISH GRADE ALONG 49 FRONT FACE OF ------1-0" MIN. THICK CONC. FOOTING 45 1-6" MAX. FOOTING GUARD RAIL/FENCING DESIGNED STEP, TYP. 44 BY OTHERS, POST SPACING NOT TO EXCEED 8'-O" O.C. 43 THROUGH WALL DRAINS 42 @ 25'-0" O.C. MAX THICK LANDSCAPE SHRUBBERY -AS ACCEPTED BY LOCALITY - I2" DIA. x 24" DEEP SLEEVE-IT, INSTALL PER MANUFACTURER'S TO PREVENT PEDESTRIANS INSTALLATION INSTRUCTIONS FROM ACCESSING EDGE OF NOTE: CAREFULLY CUT \$ THE WALL INSTALL GEOGRID REINF. SET GUARD POST \$ AROUND SLEEVE-IT INFILL WITH CONC. ANCHOR . COMPACTED BACKFILL DIAMOND PRO MATERIAL, SEE SECTION BLOCK, TYP. ANCHOR -DIAMOND PRO BLOCK, TYP. Large/Smatt Plat(s) Recorded herewith as # 2025/63/0 00+00 00 + 2500 + 50ALTERNATE NO. I ALTERNATE NO. 2 City of Williamsburg & County of James City City of Williamsburg & County of James City

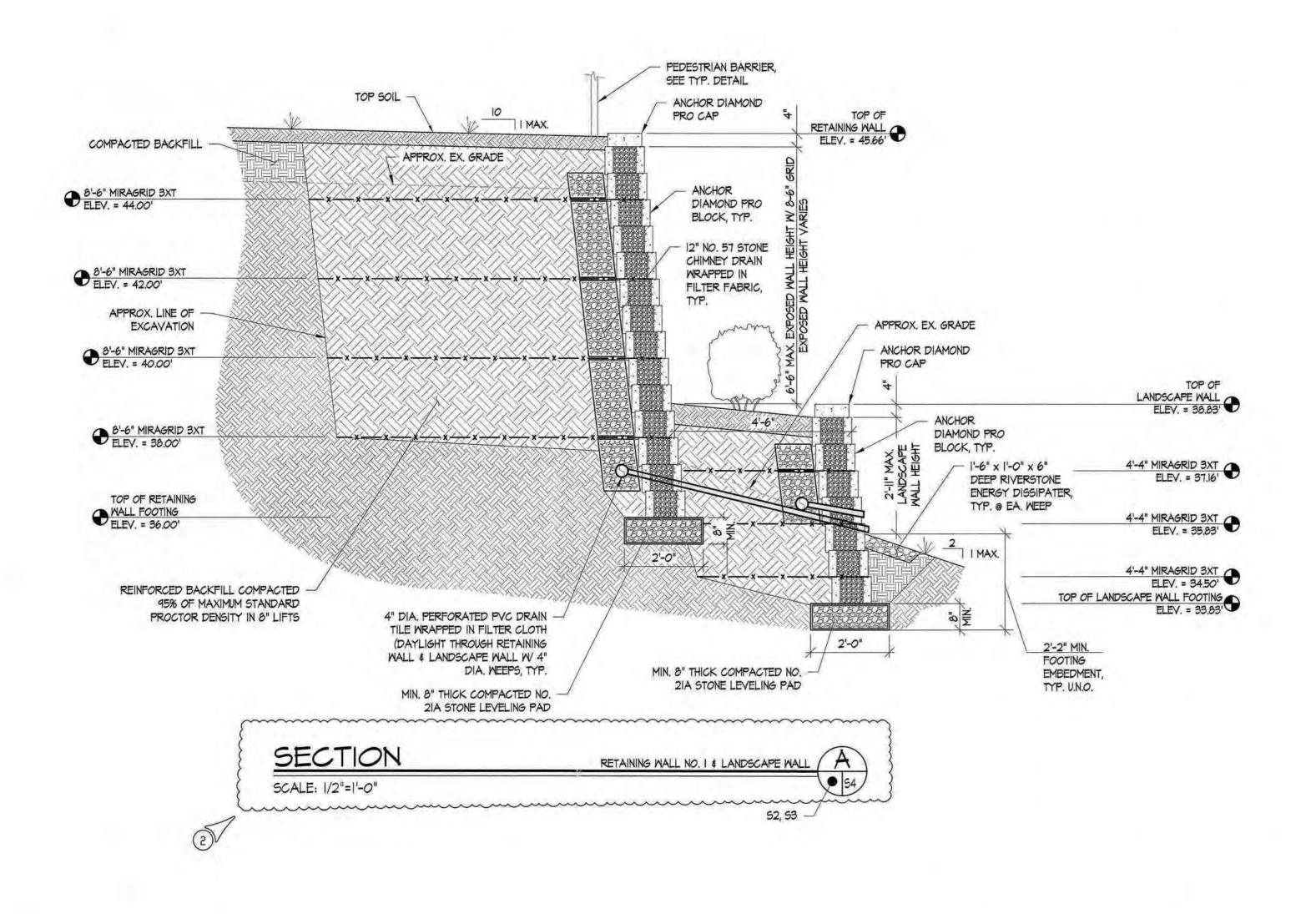
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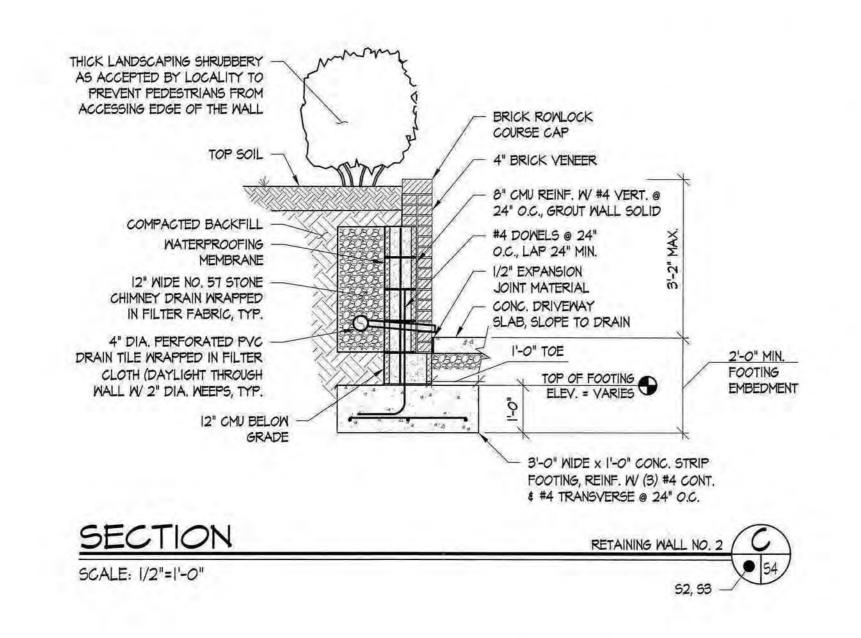
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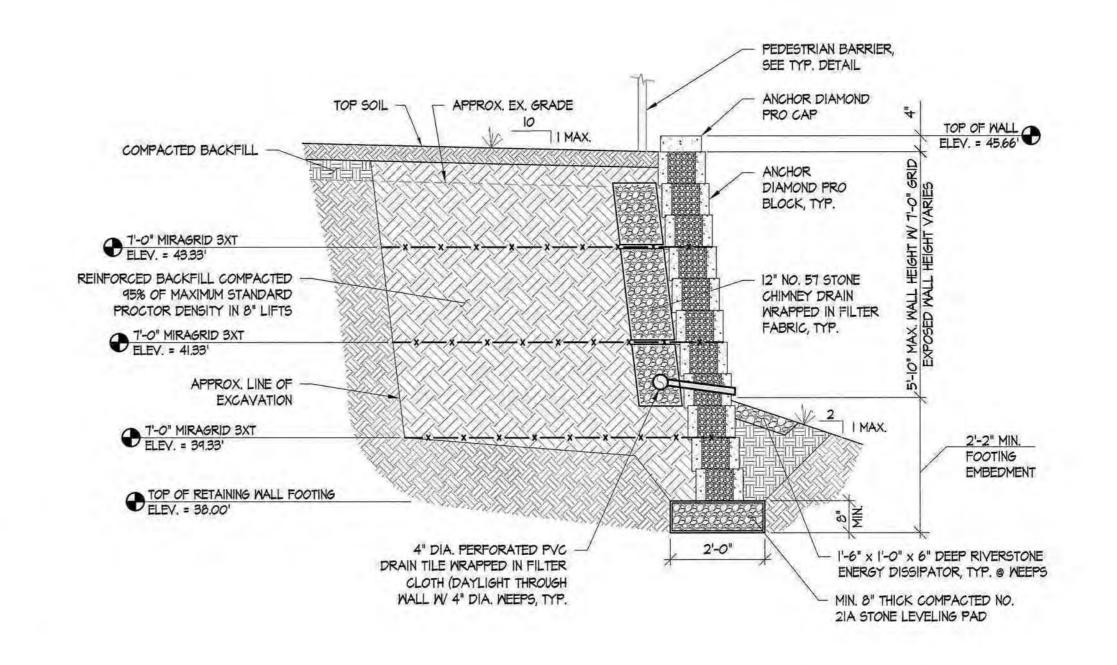
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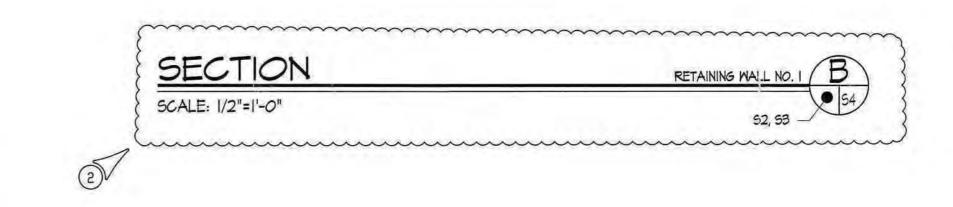
Document # 2025/163/0 WALL PROFILE DETAIL RETAINING WALL NO. 2 PEDESTRIAN BARRIER SCALE: 3/4" = 1'-0" HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0" ELIZABETH E. O'CONNOR, CLERK Elizabeth E. O'Connor

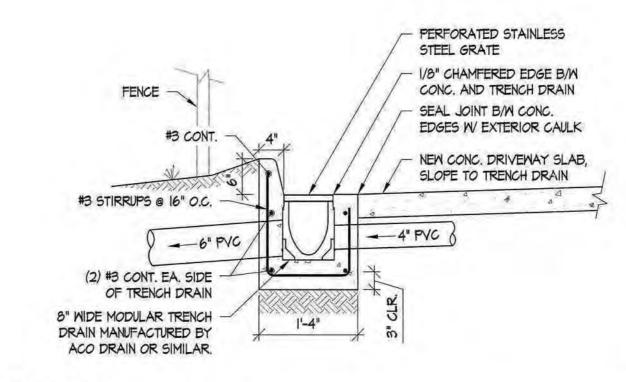
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SECTION

SCALE: 1/2"=1"-0"

TRENCH DRAIN D

52 5

Large/Small Plat(s) Recor

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on

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at 12:30 AM(PM), PB PG

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ELIZABETH E. O'CONNOR, CLERK

Eugabeth & O'Connor , Clerk