

GENERAL NOTES

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
- A. THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUBC); 2021 EDITION
 - B. THE INTERNATIONAL RESIDENTIAL CODE (IRC); 2021 EDITION AS AMENDED BY THE VUBC.
 - C. ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
2. DESIGN LOADS:
- A. BUILDING RISK CATEGORY _____
 - B. GROUND SNOW, P_g _____ 26 PSF
 - C. ULTIMATE DESIGN WIND SPEED _____ 104 MPH
 - D. EXPOSURE _____ C
 - E. SOIL UNIT WEIGHT _____ 120 PCF
 - F. LIVE LOADS: _____
 - G. LANDSCAPE & MAINTENANCE SURCHARGE _____ 50 PSF
 - H. GUARD ASSEMBLY _____ 50 PLF 200 LB
- F. SEISMIC DESIGN:
- SEISMIC IMPORTANCE FACTOR, I _____ 1.0
 - MAPPED SPECTRAL RESPONSE ACCELERATION S_s _____ 0.14
 - MAPPED SPECTRAL RESPONSE ACCELERATION S_1 _____ 0.045
 - SITE SOIL CLASS _____ D
 - SPECTRAL COEFFICIENT, S_{ds} _____ 0.12
 - SPECTRAL COEFFICIENT, S_{d1} _____ 0.06
 - SEISMIC DESIGN CATEGORY _____ A
 - BASIC STRUCTURAL SYSTEM _____ SEGMENTAL BLOCK RETAINING WALL
3. THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK.
4. CONTRACTOR SHALL NOTIFY MISS UTILITY OF VIRGINIA PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR COSTS ASSOCIATED WITH DAMAGE AND REPAIR OF ANY LINES MARKED BY MISS UTILITY OF VIRGINIA.
5. PROVIDE TEMPORARY BRACING AS REQUIRED TO RESIST WIND AND OTHER LOADS DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COSTS TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

FOUNDATION:

7. UNLESS NOTED OTHERWISE, ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS THROUGH THE RETAINING WALL. STEP FOOTINGS WHERE REQUIRED.
8. FOOTINGS/LEVELING PADS WERE DESIGNED TO BEAR ON UNDISTURBED SOIL. A MINIMUM OF 3'-8" BELOW EXISTING GRADE WITH A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF. THE OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO VERIFY THAT THIS ALLOWABLE SOIL BEARING PRESSURE IS ATTAINABLE. IF THIS IS NOT ATTAINABLE, OWNER/CONTRACTOR SHALL CONTACT ENGINEER FOR REDESIGN.

LEVELING PAD:

9. LEVELING PAD FOR SEGMENTAL BLOCK RETAINING WALLS SHALL BE A MINIMUM OF 8" THICK COMPACTED NO. 21A CRUSHED STONE WRAPPED IN FILTER CLOTH.

CONCRETE:

10. CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND A MAXIMUM WATER/CEMENT RATIO OF 0.55.
11. ALL CONCRETE SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
12. ALL CONCRETE SHALL HAVE A SLUMP OF 4" \pm 1" UNLESS NOTED OTHERWISE.
13. ALL CONCRETE TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 1.1 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
14. ALL CONCRETE TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 1.2 OF ACI 305R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.
15. REINFORCING BARS SHALL BE ASTM A-615, GRADE 60.
16. ALL CONCRETE REINFORCING SHALL BE DETAILED AND CONSTRUCTED PER ACI 318.

MASONRY:

17. CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C-90. MORTAR TO CONFORM TO ASTM C-270, TYPE "S" BELOW GRADE AND TYPE "N" ABOVE GRADE. COLOR TO BE SELECTED BY OWNER. MASONRY GROUT TO CONFORM TO ASTM C416.
18. ALL CMU REINFORCING SHALL BE DETAILED AND CONSTRUCTED PER ACI 530.
19. ALL CONCRETE MASONRY CONSTRUCTION SHALL BE CONSTRUCTED TO HAVE A MINIMUM DESIGN COMPRESSIVE STRENGTH (F_m) OF 1500 PSI. ALL MASONRY GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
20. HORIZONTAL REINFORCING FOR SINGLE-WYTHE AND MULTI-WYTHE COMPOSITE MASONRY WALLS SHALL BE DUR-O-HAL TRUSS TYPE WALL REINFORCING WITH #4 DEFORMED SIDE BARS AND #4 CROSS BARS. MINIMUM VERTICAL SPACING 16" O.C. ABOVE GRADE AND 8" O.C. BELOW GRADE. BRICK VENEER WALLS TO HAVE NON-CORROSIVE METAL TIES AT 16" O.C. VERTICALLY AND HORIZONTALLY.
21. BRICK MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C-216. COLOR AND BRICK TYPE SHALL BE SELECTED BY THE OWNER FROM CONTRACTOR SUPPLIED SAMPLES.

RETAINING WALLS & BACKFILL MATERIAL:

22. ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LAND TECH RESOURCES, INC. AND DATED AUGUST 26, 2024.
23. FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT PREPARED BY EGS MID-ATLANTIC, LLC & DATED AUGUST 15, 2024.
24. EXISTING SITE SOILS ARE EMPORIA COMPLEX WITH LOW SHRINK-SWELL POTENTIAL.
25. BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL 5M OR BETTER, UNLESS NOTED TO BE STONE. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 30 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE 5M OR BETTER WITH MINIMUM FRICTION ANGLE OF 32 DEGREES.
26. CHIMNEY DRAIN ADJACENT TO RETAINING WALLS AND MATERIAL USED TO FILL MODULAR WALL UNITS SHALL BE VIBRATORY PLATE COMPACTED NO. 57 STONE OR A WELL GRADED COMPACTABLE NO. 21A STONE, 1/4" TO 1 1/2" DIAMETER WITH NO MORE THAN 10% PASSING THE #200 SIEVE.
27. PLACE A 4" DIAMETER PERFORATED SCH40 PVC DRAIN PIPE WRAPPED IN FILTER CLOTH ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALLS. PROVIDE DRAINAGE TO DAYLIGHT AT 25'-0" ON CENTER MAX UNLESS NOTED OTHERWISE.
28. ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALLS, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALLS, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD.
29. ALL GEOGRID REINFORCEMENT TO BE SYNTEN GEOGRID SF35 SERIES MANUFACTURED BY SYNTEN TECHNICAL FABRICS. LENGTH OF GEOGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOGRID SHALL BE PULLED TAUGHT PRIOR TO INFILLING BACKFILL.
30. SEGMENTAL RETAINING WALL UNITS SHALL BE DIAMOND PRO MANUFACTURED BY ANCHOR WALL SYSTEMS, LLC.
31. CONTRACTOR SHALL FOLLOW INSTRUCTIONS PROVIDED BY BLOCK MANUFACTURER REGARDING THE CONSTRUCTION OF THE MODULAR CONCRETE UNIT WALLS. ANY INSTRUCTIONS THAT DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
32. PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE AT ANY POINT WITHIN 56" OF OPEN EDGE. GUARD RAILING, FENCING, AND/OR LANDSCAPE SHRUBBERY SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE.

RETAINING WALLS & BACKFILL MATERIAL (CONTINUED):

33. RETAINING WALL MINIMUM DESIGN SAFETY FACTORS:
- A. OVERTURNING - 2.0
 - B. SLIDING - 1.5
 - C. GLOBAL STABILITY - 1.3
34. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

STATISTICAL INFORMATION

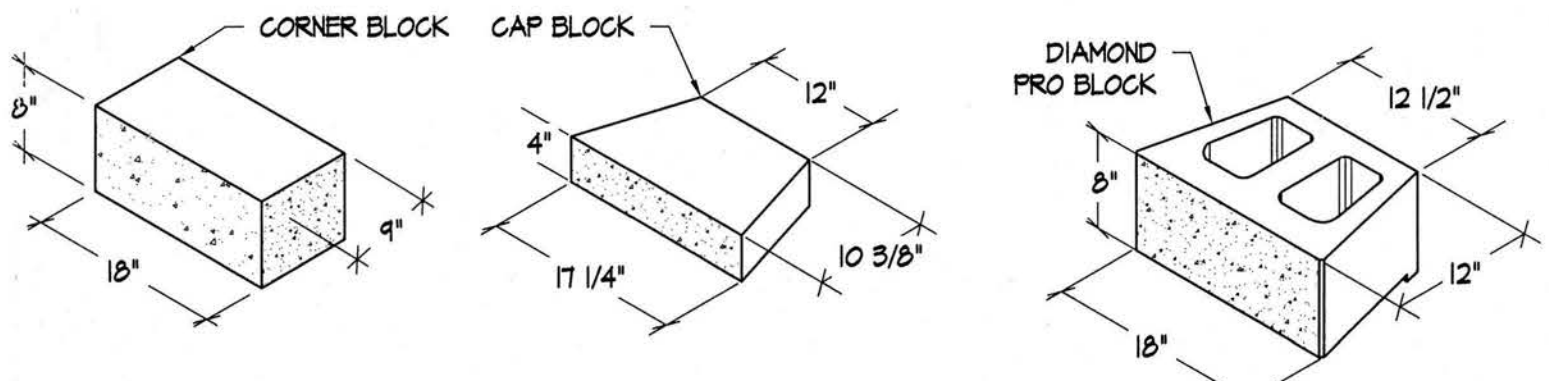
ZONE:	R4 RESIDENTIAL PLANNED COMMUNITY		
PARCEL ID NO.:	5130300027		
OWNER:	J. PRESTON DANIEL & ELIZABETH A. GERMAIN		
ADDRESS:	236 JEFFERSON'S HUNDRED WILLIAMSBURG, VA 23185		
SITE DESCRIPTION:	L-27 JEFFERSON'S HUNDRED		
PROJECT AREA:	2,813.5 SQ. FT (0.065 ACRES)		
IMPERVIOUS COVER FOR PROJECT AREA:			
	PRE-CONSTRUCTION	POST-CONSTRUCTION	NET CHANGE
GREEN AREA	2,771.12 SQ. FT (99%)	2,607.5 SQ. FT (93%)	-110.22 SQ. FT (6%)
IMPERVIOUS AREA	35.78 SQ. FT (1%)	206 SQ. FT (7%)	+170.22 SQ. FT (6%)
TOTAL AREA	2,813.5 SQ. FT (100%)	2,813.5 SQ. FT (100%)	0 SQ. FT (0%)
LIMITS OF DISTURBANCE:			
	NEW RETAINING/PLANTER WALLS	154 SQ. FT (0.004 ACRES)	
	EXISTING PLANTER WALL	35.78 SQ. FT (0.001 ACRES)	
	PLANTING/GRADING AREA	2,607.5 SQ. FT (0.014 ACRES)	
	TOTAL AREA	2,813.5 SQ. FT (0.065 ACRES)	

PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE REMOVAL OF THE EXISTING TIMBER PLANTER WALL AND THE CONSTRUCTION OF A SEGMENTAL BLOCK PLANTER AND RETAINING WALL.

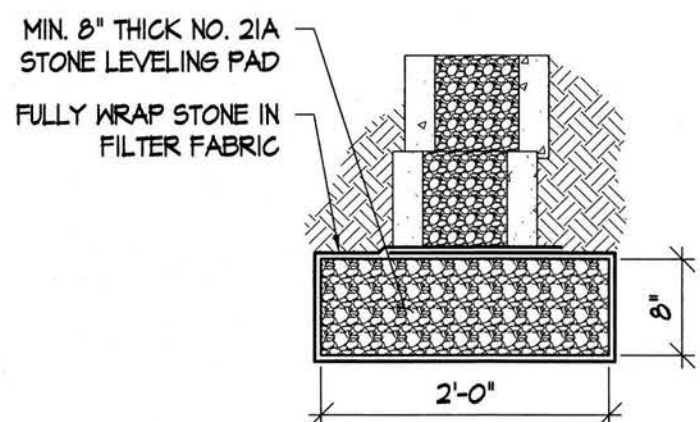
SEQUENCE OF CONSTRUCTION

1. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
2. REMOVE TIMBER PLANTER WALLS AS INDICATED ON PLANS.
3. CONSTRUCT SEGMENTAL BLOCK PLANTER AND RETAINING WALLS & GEO-GRID REINFORCING, BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS.
4. STABILIZE ALL RE-GRADED AND DENuded EARTH IN ACCORDANCE WITH GENERAL NOTE NO. 10 ON SHEET S2.
5. CONSTRUCT PEDESTRIAN BARRIER/FENCING.
6. REMOVE SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.



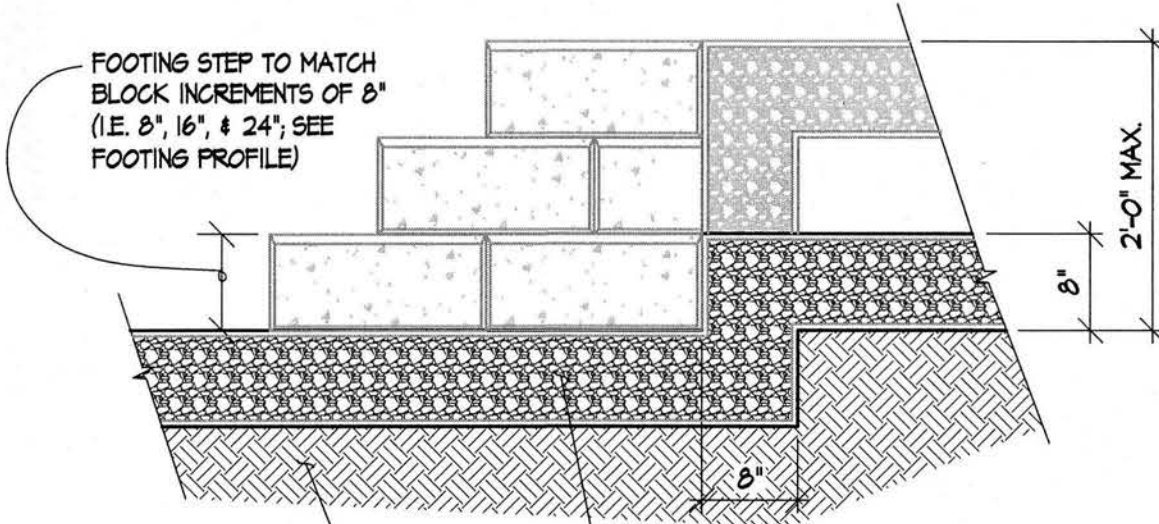
DETAIL

SCALE: NONE



DETAIL

SCALE: 3/4" = 1'-0"

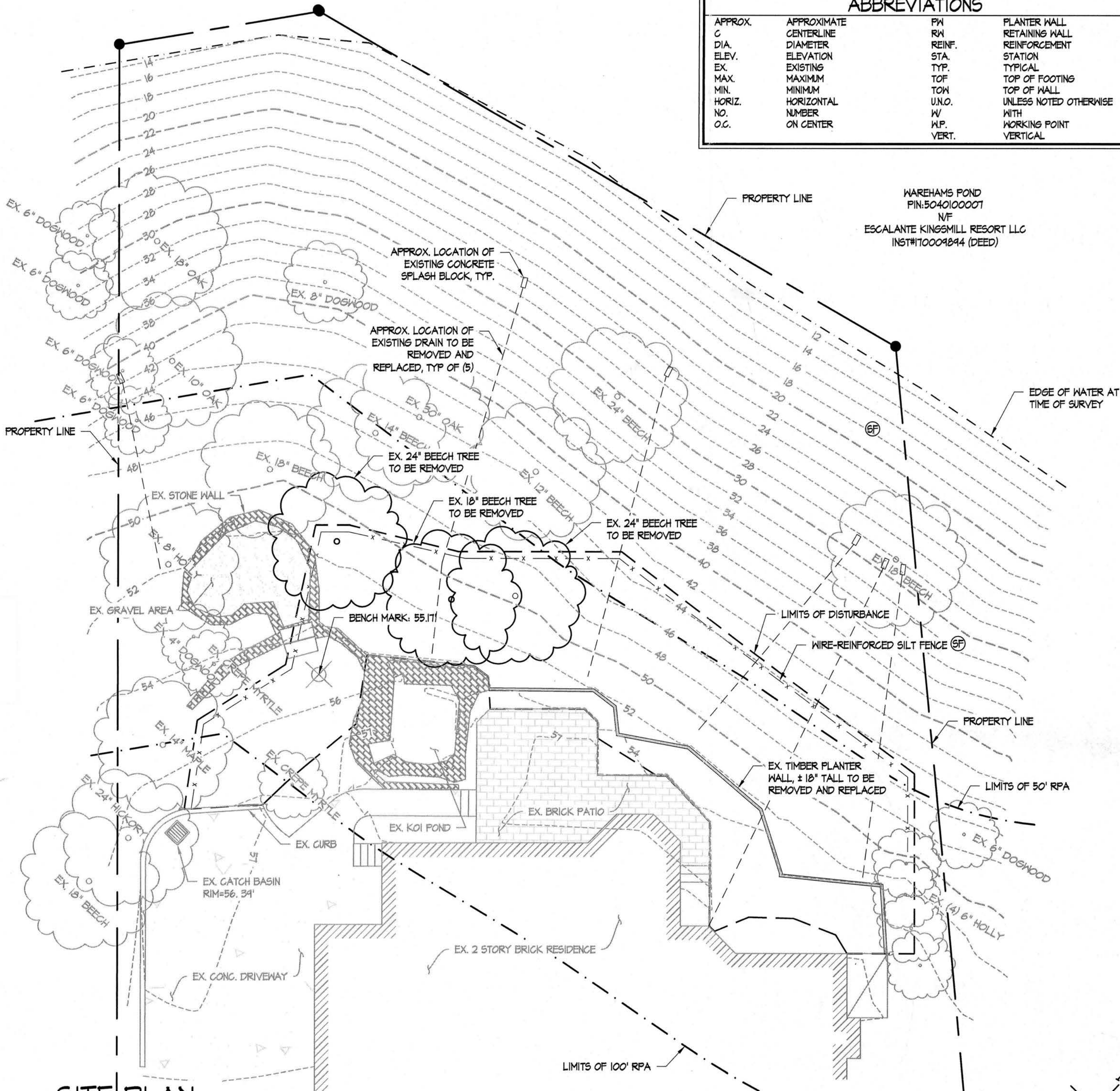


DETAIL

SCALE: 3/4" = 1'-0"

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
May 14, 2025
at 10:21 AM, PM, PG _____
Document # 202506569
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor, Clerk

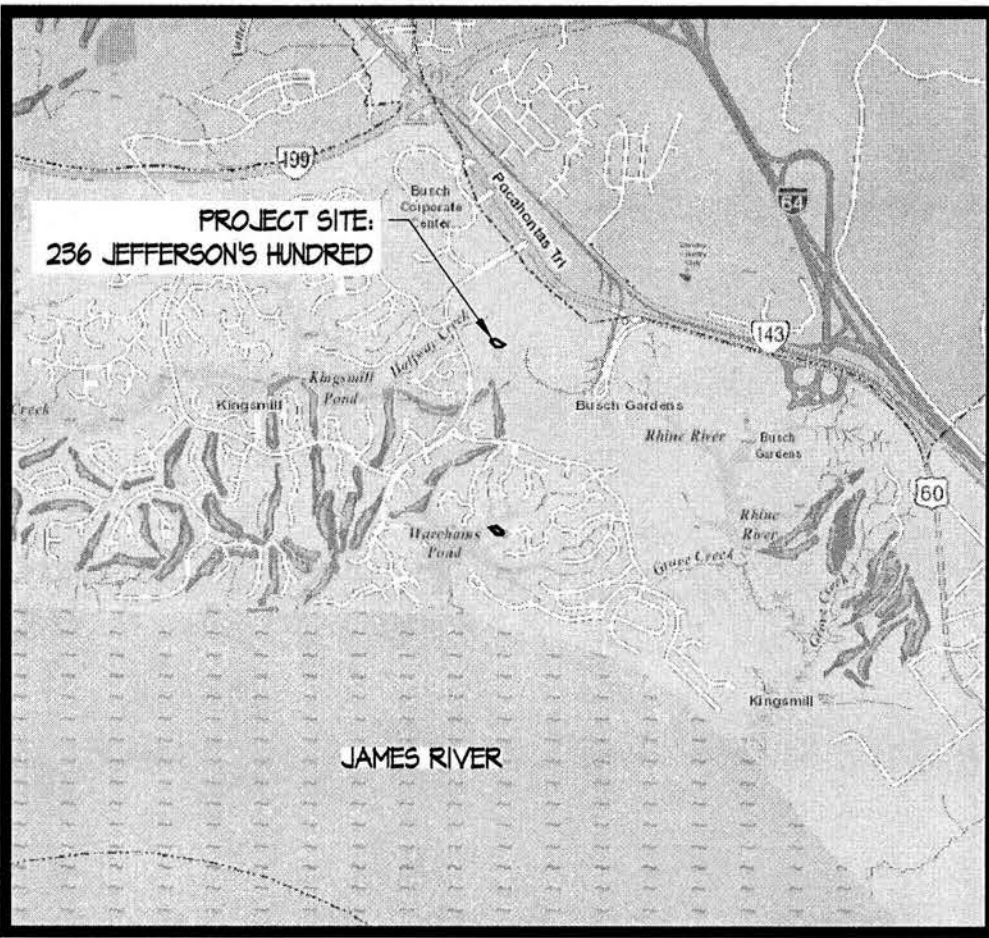
3 (Large/Small Plat(s) Recorded
herewith as # 202506569



SITE PLAN

SCALE: 3/32" = 1'-0"

202506569



VICINITY MAP

ABBREVIATIONS			
APPROX. C. DIA.	APPROXIMATE CENTERLINE DIAMETER	PH. STA. TYP.	PLANTER WALL RETAINING WALL REINFORCEMENT STATION TYPICAL
ELEV. EX.	ELEVATION EXISTING	TOP OF FOOTING	TOP OF WALL UNLESS NOTED OTHERWISE
MAX. MIN.	MAXIMUM MINIMUM	W/ M.P. VERT.	WITH WORKING POINT VERTICAL
HORIZ. NO. O.C.	HORIZONTAL NUMBER ON CENTER		

GENERAL NOTES, VICINITY MAP, SITE PLAN, & DETAILS

Sheet

RETAINING WALLS
DANIEL-GERMAIN
236 JEFFERSON'S HUNDRED

51

JAMES CITY COUNTY

VIRGINIA

No.

Revisions

Date

Date:

9/18/2025

Project #:

VA2464DES

Drawn by:

DAS

Reviewed by:

JMK



The Structures Group, Inc.

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EROSION & SEDIMENT CONTROL NOTES

GENERAL:

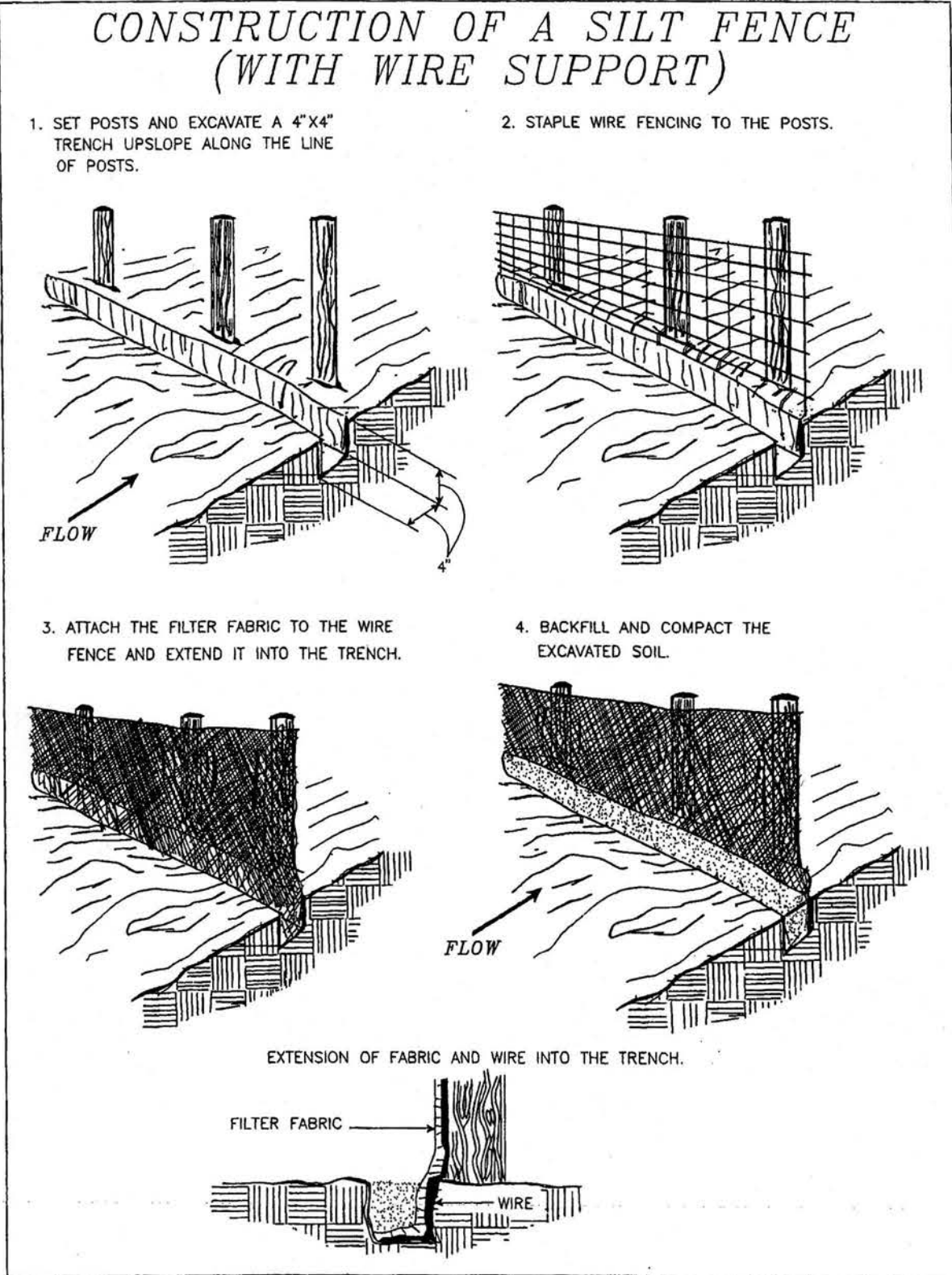
1. THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
2. THIS SITE IS LOCATED IN HUC JLB5 AND IS WITHIN THE JAMES RIVER-SKIFF WATERSHED.
3. THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
4. ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LAND TECH RESOURCES, INC. AND DATED AUGUST 26, 2024.
5. THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
6. THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
7. A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES, HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
8. ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
9. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
10. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDINGS", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDING TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-1 (JUTE MESH).

JAMES CITY COUNTY STANDARD STORMWATER NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED EROSION AND SEDIMENT CONTROL OR STORMWATER MANAGEMENT PLAN OF DEVELOPMENT PROJECT IN JAMES CITY COUNTY, VIRGINIA. THE COUNTY'S DIVISION OF STORMWATER AND RESOURCE PROTECTION (SRP) IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESP) AUTHORITY AND THE LOCAL VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSNP) AUTHORITY.

1. ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (EASC) LAW AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS, THE VIRGINIA BEST MANAGEMENT PRACTICE (BMP) CLEARINGHOUSE WEBSITE, STATE EASC AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESCP AND VSNP AUTHORITY SHALL APPLY TO THE PROJECT.
2. MINIMUM STANDARDS NUMBERS 1 THROUGH 14 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840 SHALL APPLY TO THE PROJECT.
3. THE OPERATOR SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VIRGINIA POLLUTANT DISCHARGE ELIMINATION SYSTEM (VPDES) PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 880, THE VSNP REGULATIONS CHAPTER 810, AND IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE VSNP, THE STATE WATER CONTROL BOARD, THE VIRGINIA DEQ, CHAPTER 8 OF THE COUNTY CODE, AND THE LOCAL VESCP/VSNP AUTHORITY.
4. THE OPERATOR SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE ISSUED BY DEQ SIGNIFYING WHO IS RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY IN ACCORDANCE WITH THE APPROVED EASC PLAN. THE RLD MUST BE DESIGNATED ON THE EASC PLAN OR PERMIT AS A PREREQUISITE FOR ENGAGING IN LAND DISTURBANCE. THE RLD IS REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING FOR THE PROJECT.
5. A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCP/VSNP AUTHORITY, THE OPERATOR, THE RLD, THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES, AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OPERATOR IS REQUIRED TO COORDINATE SCHEDULING OF THE PRE-CONSTRUCTION MEETING WITH THE JAMES CITY COUNTY (JCC) SRP DIVISION.
6. A POLLUTION PREVENTION PLAN (P2 PLAN), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED, AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS AS SPECIFIED IN 9VAC25-810-56. THIS PLAN SHALL BE AVAILABLE ON-SITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCP/VSNP AUTHORITY WHEN REQUESTED.
7. OFF-SITE AREAS SHALL BE APPROVED BY THE LOCAL VESCP/VSNP AUTHORITY PRIOR TO LAND DISTURBING ACTIVITY AT THE SEPARATE LOCATION. OFF-SITE AREAS SHALL BE INCLUDED AS PART OF THE PROPOSED LAND DISTURBING ACTIVITY OR COVERED BY A SEPARATE APPROVED EASC PLAN.
8. TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
9. LOCAL VESCP/VSNP AUTHORITY WRITTEN APPROVAL SHALL BE REQUIRED PRIOR TO DEVIATIONS FROM THE APPROVED EROSION AND SEDIMENT MEASURES, SEQUENCE OF CONSTRUCTION, OR STORMWATER MANAGEMENT PLAN. SIGNIFICANT DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE THE SUBMITTAL OF AN AMENDED PLAN FOR REVIEW AND APPROVAL.
10. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENuded AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENuded AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
11. FOR THE PURPOSES OF BOND REDUCTIONS OR RELEASES, FINAL STABILIZATION WILL BE DEFINED AS THE COMPLETION OF ALL SOIL STABILIZING ACTIVITIES AT THE SITE AND THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER ON DENuded AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM (E.G., EVENLY DISTRIBUTED), MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.
12. DESIGN AND CONSTRUCTION OF PRIVATE STORM DRAINAGE SYSTEMS, OUTSIDE OF ANY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE COUNTY'S STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED) GENERAL DESIGN AND CONSTRUCTION GUIDELINES.
13. RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL APPLICABLE STORMWATER FACILITIES, INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY CODE AND THE VESCP/VSNP AUTHORITY.
14. ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS, AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCP/VSNP AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITTEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH THE ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.
15. THE FINAL PROJECT CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH THE JCC CCTV ADMINISTRATIVE GUIDELINES DEVELOPED BY THE VSNP AUTHORITY.

1992



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

3.05

DETAIL

SCALE: NTS

SILT FENCE W/ WIRE SUPPORT
VESCH 3.05

1992

3.32

TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA		
		Total Lbs. Per Acre
Minimum Care Lawn	- Commercial or Residential	
	- Kentucky 31 or Turf-Type Tall Fescue	175-200 lbs.
	or	
High-Maintenance Lawn	- Common Bermudagrass **	75 lbs.
	or	
	- Kentucky 31 or Turf-Type Tall Fescue	200-250 lbs.
	or	
	- Hybrid Bermudagrass (seed) **	40 lbs. (unhulled) 30 lbs. (hulled)
	or	
General Slope (3:1 or less)	- Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34)	
Low Maintenance Slope (Steeper than 3:1)		

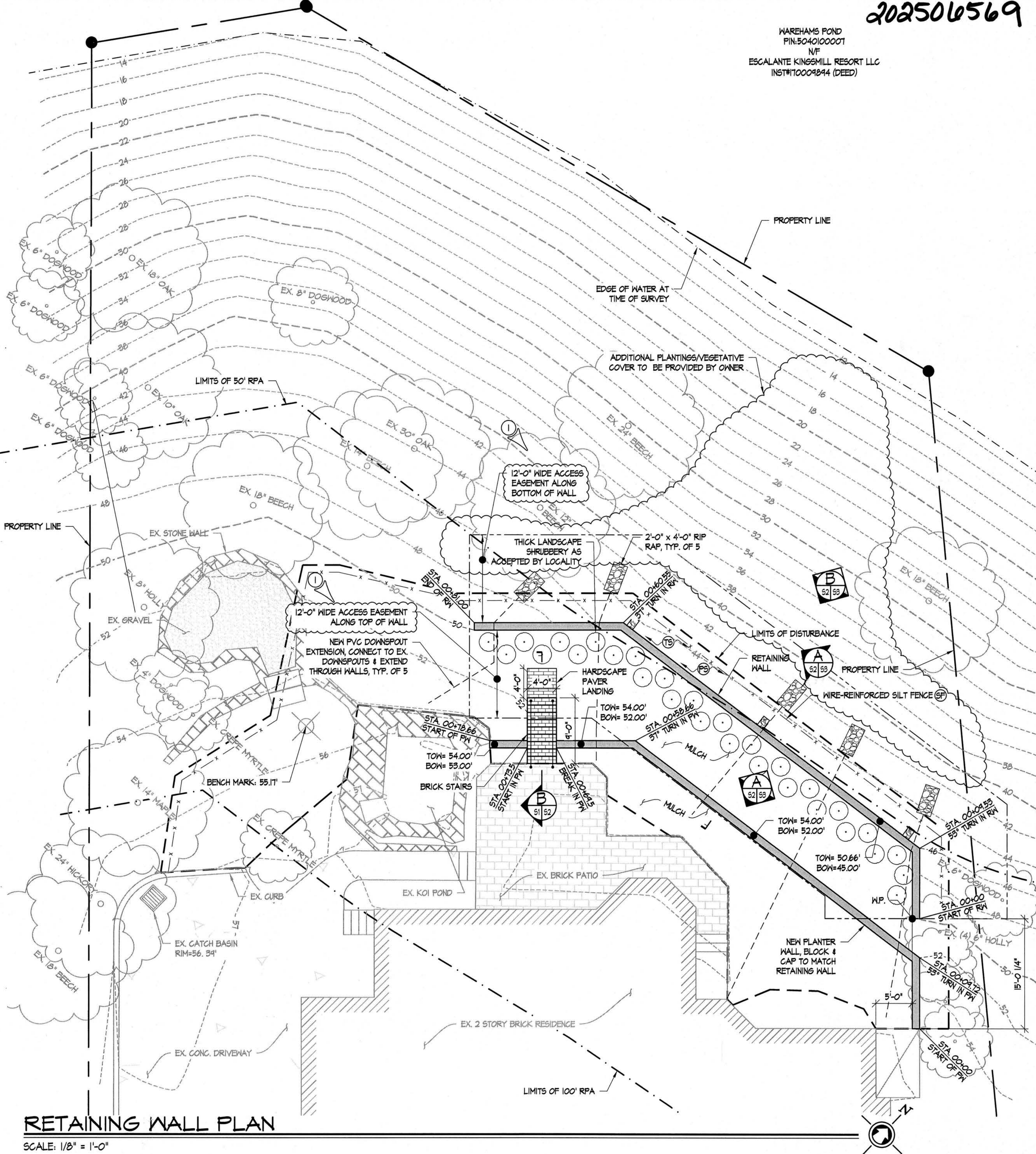
* Use seasonal nurse crop in accordance with seeding dates as stated below:
February, March through April Annual Rye
May 1st through August Foxtail Millet
September, October through November 15th Annual Rye
November 16th through January Winter Rye

** May through October, use hulled seed. All other seeding periods, use unhulled seed. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

DETAIL

SCALE: NTS

TEMPORARY/PERMANENT SEEDING
VESCH 3.32



RETAINING WALL PLAN

SCALE: 1/8" = 1'-0"

LEGEND			
MARK	SYMBOL	CODE	DESCRIPTION
- x - x -	⊕	3.05	WIRE-REINFORCED SILT FENCE
— o —	⊕	3.36	TREE PROTECTION
— 19 —	⊕	3.31	TEMPORARY SEEDING
— 32 —	⊕	3.32	PERMANENT SEEDING

NOTES:
- EXACT LOCATION OF MITIGATION PLANTINGS WITHIN RPA LIMITS TO BE DETERMINED BY OWNER.

PLANT SCHEDULE				
REQUIRED	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
II	21	ILEX GLABRA	INKBERRY SHRUB	18" MIN.

3 Large/Small Plat(s) Recorded
herewith as # 202506569

City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
May 14, 2025
at 10:21 AM, PB
Document # 202506569
ELIZABETH E. O'CONNOR, CLERK
Elizabeth E. O'Connor Clerk

RETAINING WALL PLAN & DETAILS

Date: 3/18/2025 Project #: VA24164DES Drawn by: DAS Reviewed by: JMK

4/2/25

James City County Comments

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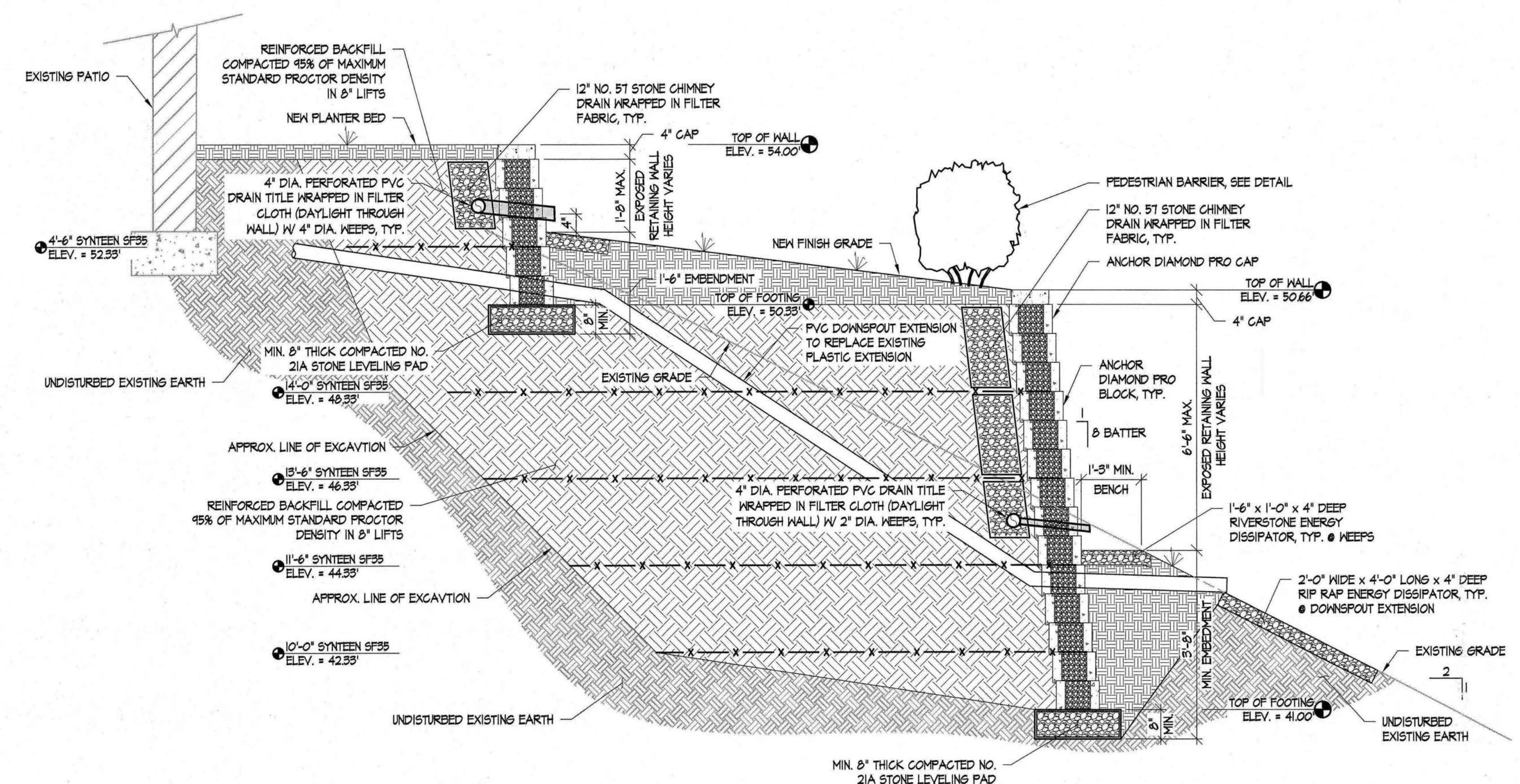
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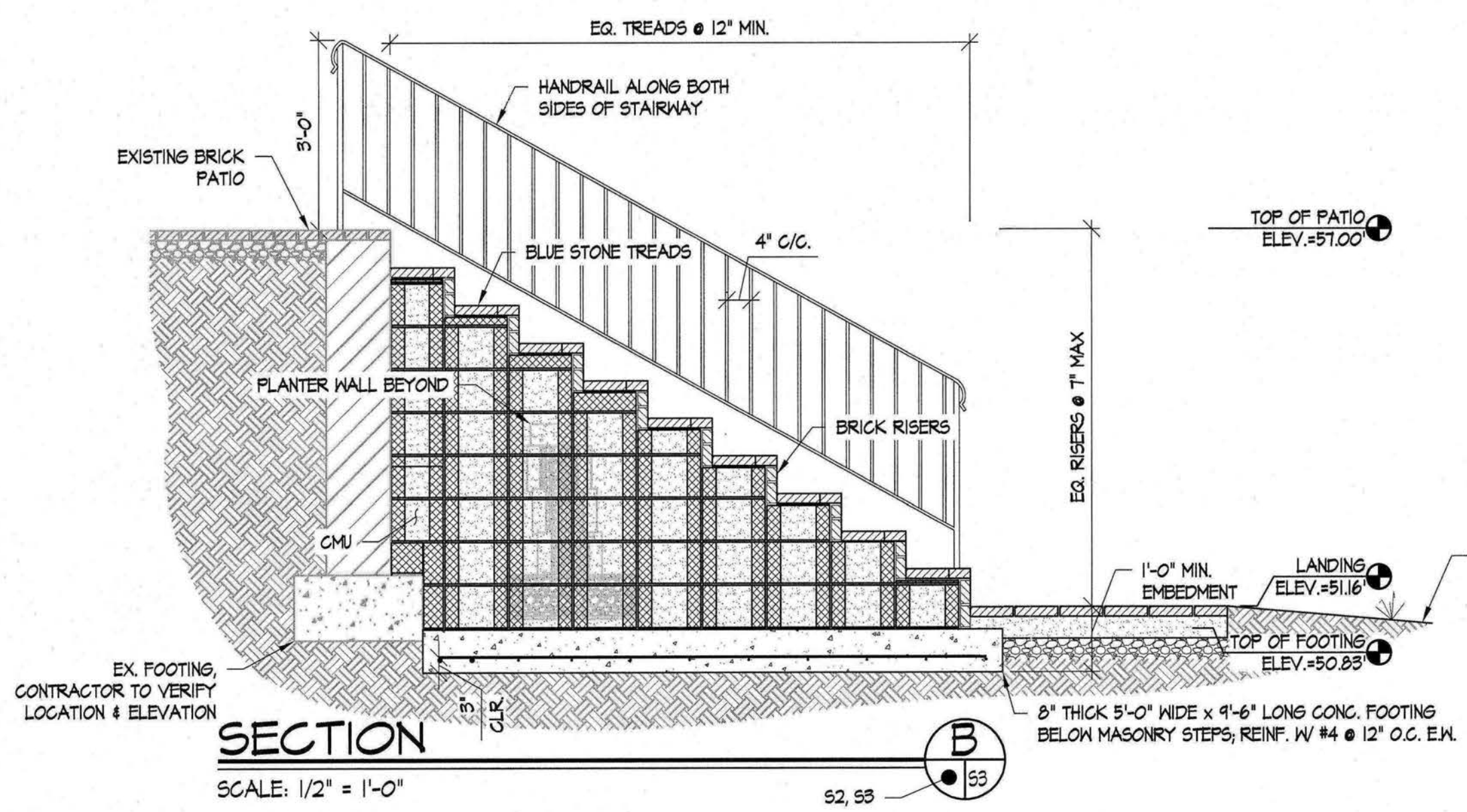
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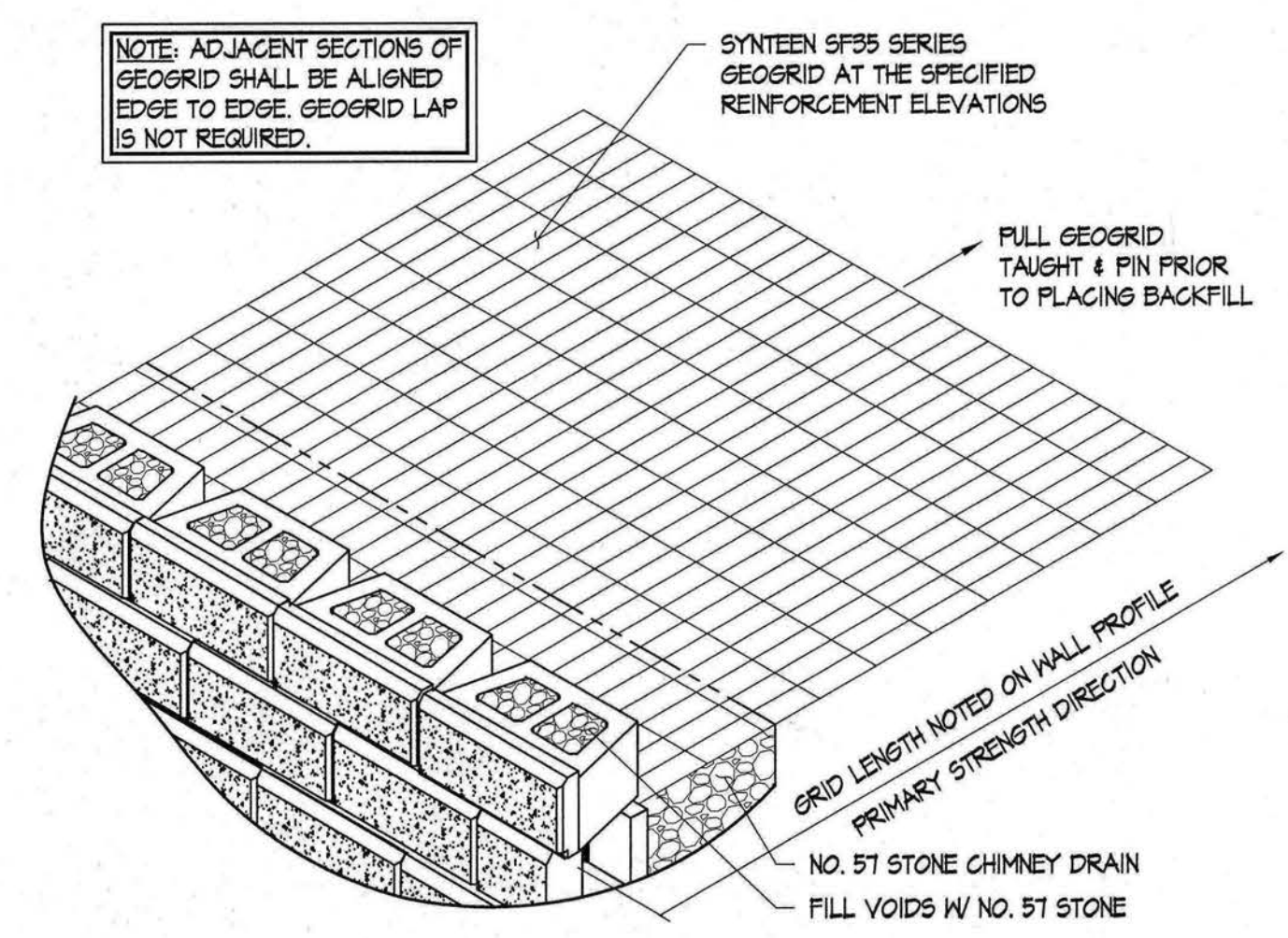
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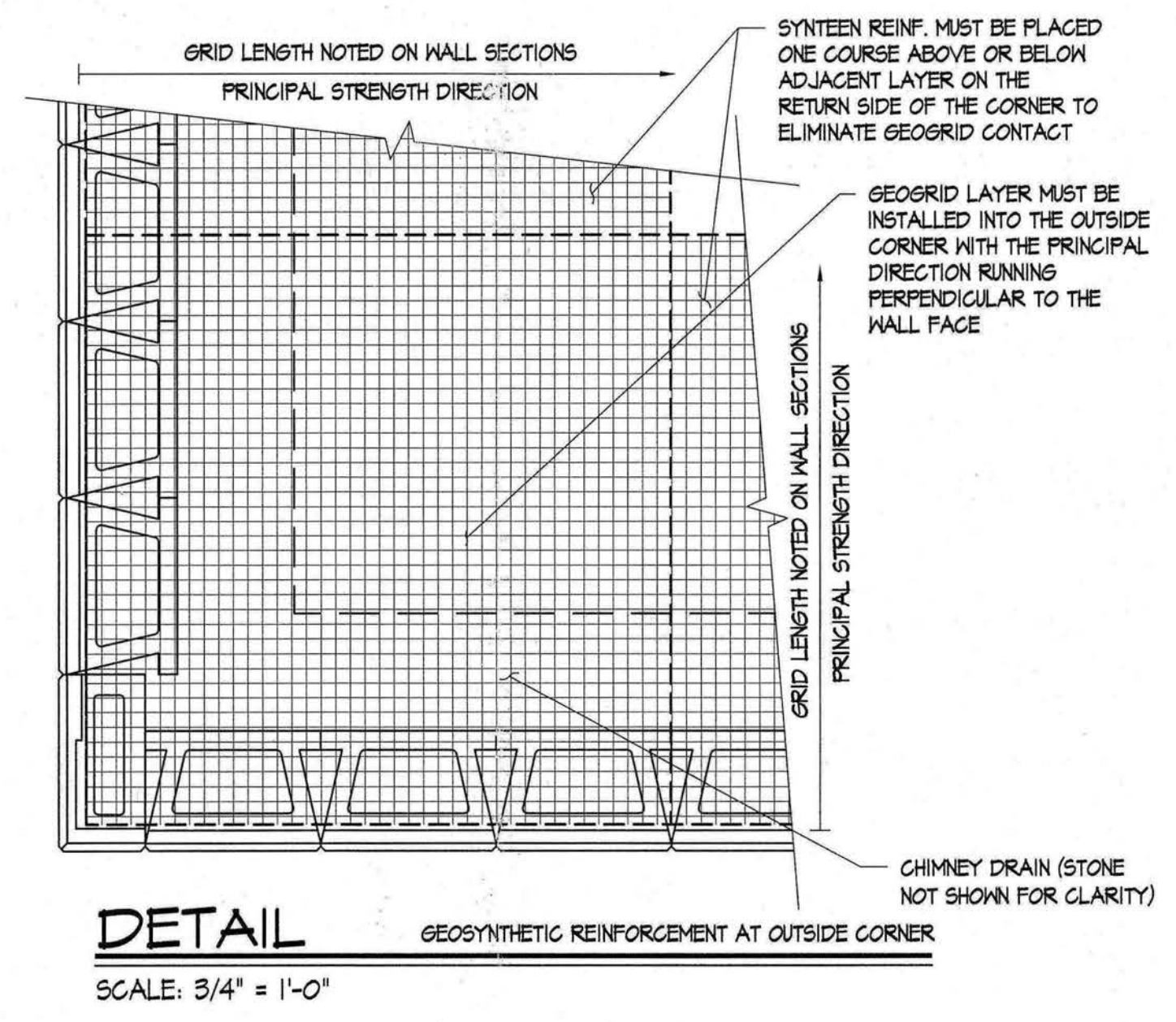
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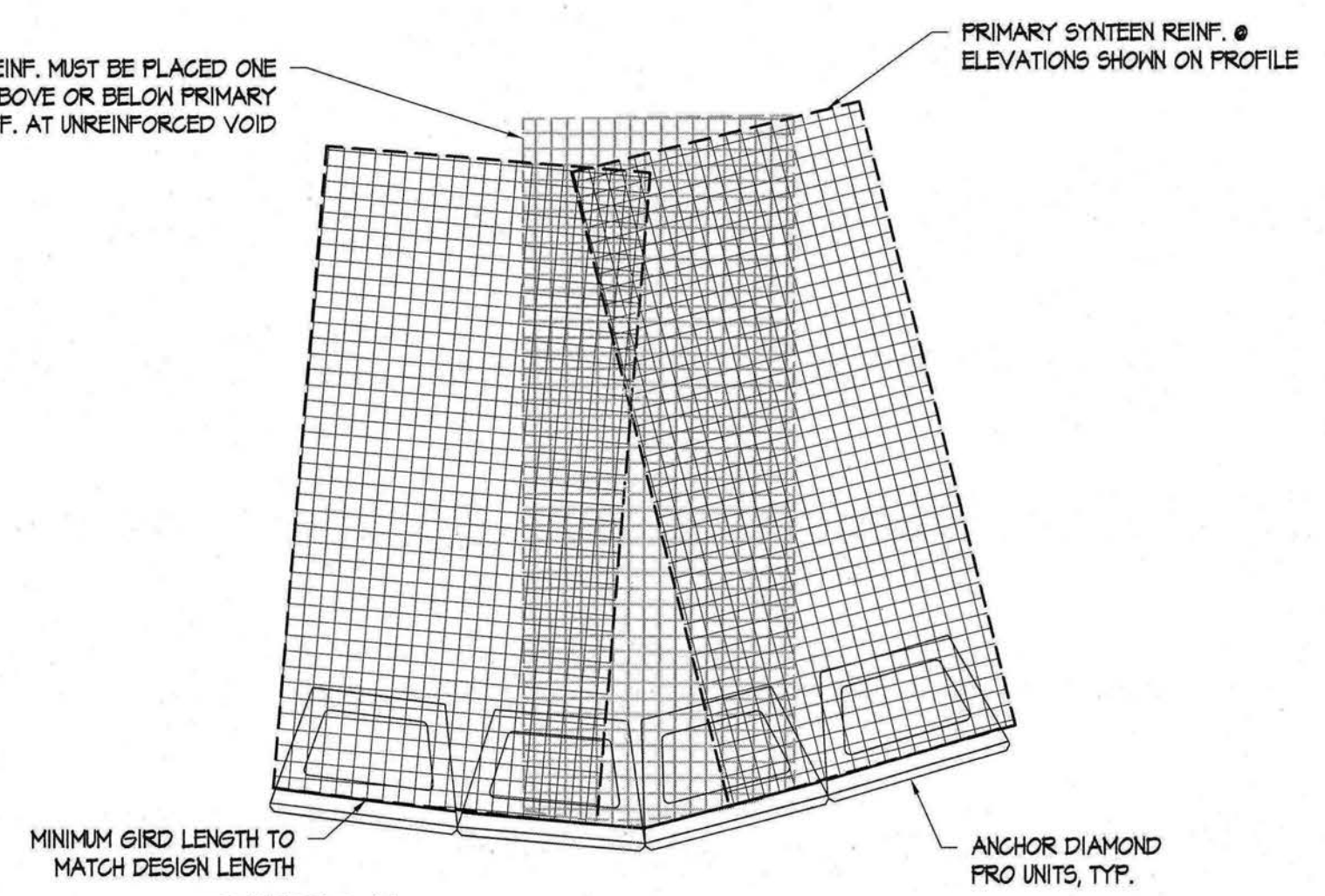
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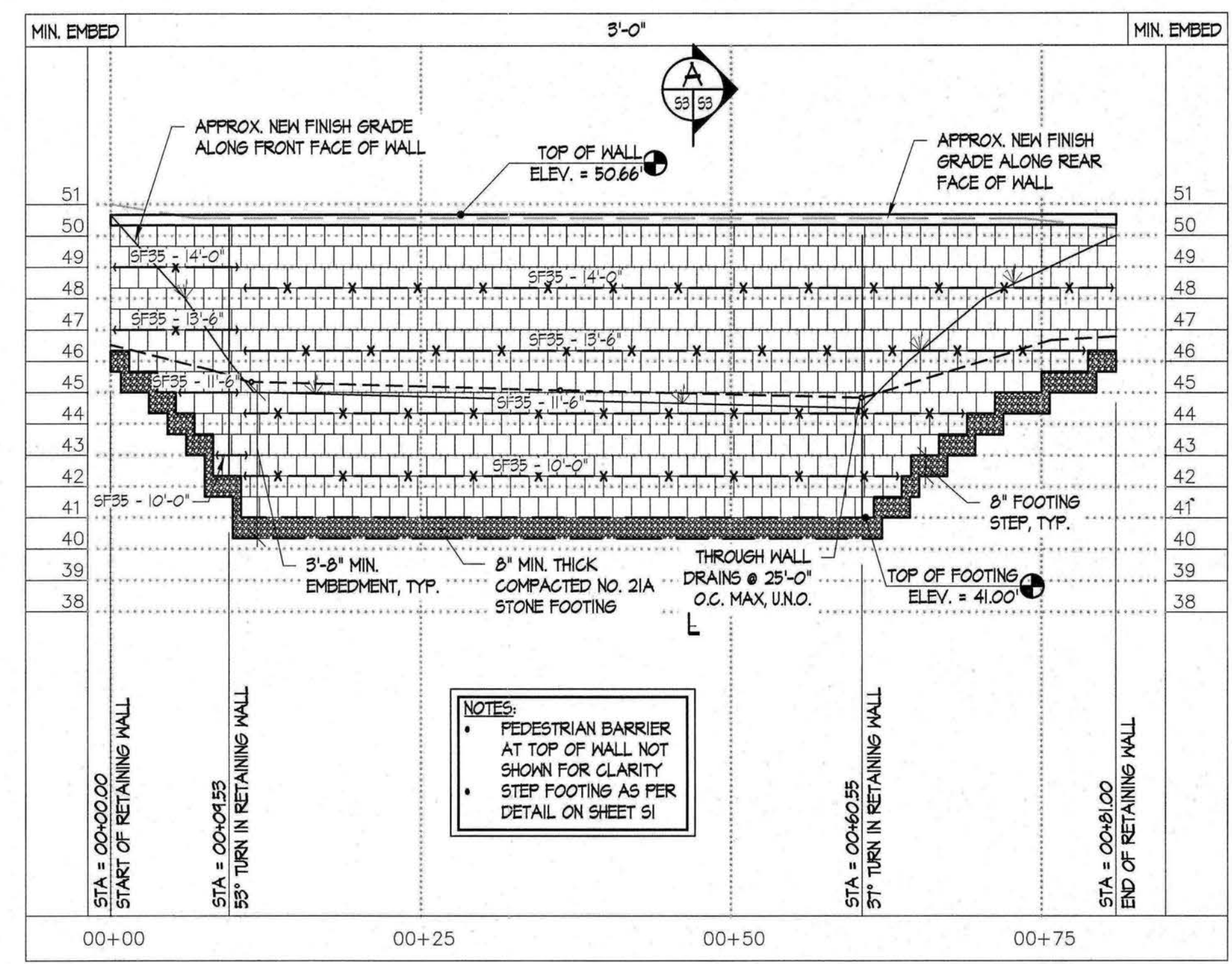
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GEOSYNTHETIC REINFORCEMENT



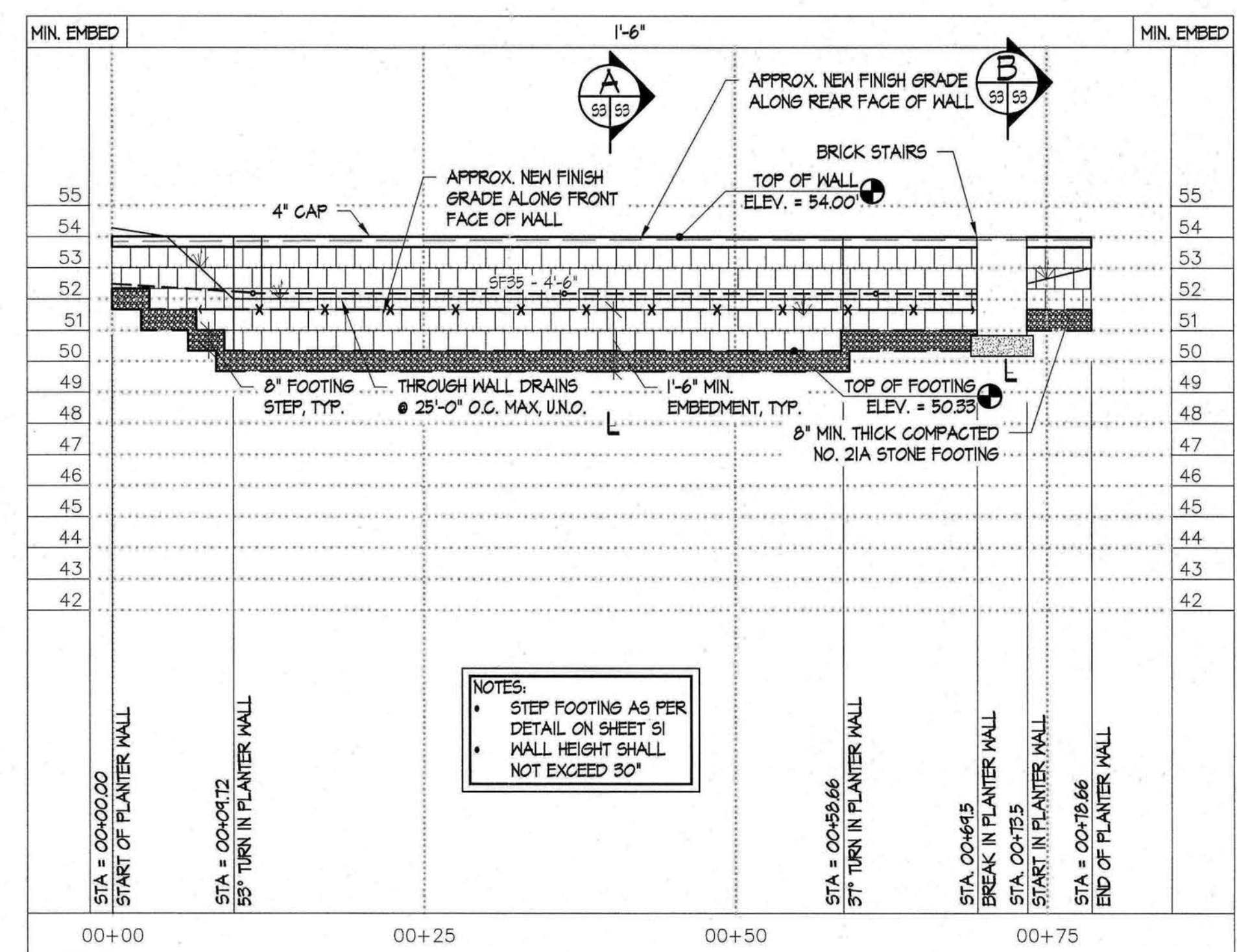
DETAIL
SCALE: 3/4" = 1'-0"
GEOSYNTHETIC REINFORCEMENT AT OUTSIDE CORNER



DETAIL
SCALE: 3/4" = 1'-0"
GEOSYNTHETIC REINFORCEMENT @ OUTSIDE ANGLE



WALL PROFILE
HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0"
RETAINING WALL A 52 53



WALL PROFILE
HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0"
PLANTER WALL A 52 53

Sheet	Reviewed by: JNK	The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23186 (757) 220-0465 • Fax (757) 220-1546 www.thestructuresgroup.com	Date: 3/18/2025	Project #: VA2464DES	Drawn by: DAS	No.	Revisions	Date
RETAINING WALLS DANIEL-GERMAIN 236 JEFFERSON'S HUNDRED JAMES CITY COUNTY VIRGINIA								
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